



525 San Anselmo Avenue
San Anselmo, CA 94960

Planning Commission

Agenda

Monday, May 2, 2022

7:00 PM

Via Zoom

Webinar ID: 815 4745 6636

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/81547456636>

This meeting will be conducted via Zoom (<https://zoom.us/join>). Public comments will be accepted during the meeting. Members of the public are encouraged to participate remotely via Zoom by using the link above “raise hand” to comment, or call in with webinar ID above to participate in the meeting by telephone: (669) 900-6833 (San Jose Area Code, press *9 to “raise hand” to comment by phone)

- 1. CALL TO ORDER**
- 2. OPEN TIME FOR PUBLIC EXPRESSION**

Members of the public may address the Planning Commission regarding items not on the agenda.

- 3. PLANNING DIRECTORS REPORT**
- 4. APPROVAL OF MINUTES**

4A. April 18, 2022 Planning Commission Minutes

Attachments: [Minutes](#)

- 5. PUBLIC HEARINGS**

5A. 141 Crescent Road Design Review for two-story addition and floor area exception to construct a 172 square foot, two-story addition to the south facing side of the existing single-family residence. The maximum building height would be approximately 22’ (up to 30 feet allowed).

Lot Size	8,179 sq. ft.
Existing Lot Coverage	1,802 sq. ft. 22%
Proposed Lot Coverage	1,886 sq. ft. 23% (up to 35% allowed)

Existing Adjusted Floor Area (FAR) 2,833 sq. ft. 35 %
Proposed FAR 3,005 sq. ft. 37% (max. allowed 3,188 sq. ft./35% + 325 sq. ft. with design review)

Attachments: [Staff Report](#)
[Attachment 1 Project Plans](#)
[Attachment 2 Design Review Findings](#)
[Attachment 3 Findings & COAs](#)

6. ITEMS FROM PLANNING COMMISSION

Planning Commissioners may make announcements or inquiries of staff and may recommend items that may be placed on future meetings of the Planning Commission.

7. Adjourn

Order of Agenda and Continued Items Some items may be taken out of order. Any item not under discussion before 11:00 P.M. may be continued to the next regular meeting. If an item is continued, it is the responsibility of interested parties to note the new meeting date. Notices may not be mailed out for items continued to a specific date.

Written Materials and Comments To ensure the Commissioners have an opportunity to fully consider written materials, we suggest submitting them to staff at 525 San Anselmo Avenue, San Anselmo, CA 94960 or planning@townofsananselmo.org by 12:00 p.m. on the Thursday prior to the meeting to be included in the Planning Commission agenda packet. Information received after that time may be provided to the Planning Commission at the public meeting.

Public Meetings and Broadcast The Planning Commission welcomes the public to their meetings, which are regularly scheduled for the first and third Mondays of each month. Planning Commission meetings are videotaped and broadcast on Comcast Channel 27, AT&T Channel 99 and <http://cmcm.tv/livegov> and the recordings are posted online at <https://sananselmo-ca.legistar.com/Calendar.aspx>.

Staff Reports and Other Information Staff reports and project information is available for review at <https://sananselmo-ca.legistar.com/Calendar.aspx>. Plans area also are available for review at <https://www.townofsananselmo.org/1020/Pending-Development-Applications>.

To Comment During the Zoom Meeting

The raise hand feature allows attendees to raise their hand to indicate that they would like to comment. Click Raise Hand in the webinar controls. The host will be notified that you have raised your hand and will notify you when it is your time to talk and you may be prompted to unmute yourself. While unmuted, your profile picture and name are displayed to the host and panelists. Only your name is displayed to other attendees. If you join the webinar by phone, dial star 9 (*9) to raise your hand.

Public Hearing Format Except as otherwise provided in the agenda, most public hearings on

planning applications will be considered in the following order:

1. Staff report
2. Presentation by applicant (includes applicant, architects, and other advisors) not to exceed a combined time of 15 minutes. Applicants may reserve some of this time to respond to public comments.
3. Public comment for and against the proposal. To give all interested persons an opportunity to be heard please: a.) state name and address (voluntary); b.) limit presentation to three minutes and state views/concerns succinctly; c.) always address the Chair and Planning Commission and not the applicant or members of the audience; and d.) provide a copy of any written material submitted at the meeting to staff for the public record.
4. Discussion and action by the Planning Commission.

Appeals and Challenges Any action of the Planning Commission may be appealed to the Town Council by any person by filing a notice of appeal and the appeal fee with the Town Clerk within ten (10) calendar days of the date of the decision of the Planning Commission (San Anselmo Municipal Code Section 10-1.06). If you challenge an action in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in the notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing. (California Government Code Section 65009)

Reasonable Accommodations. In compliance with the Americans with Disabilities Act, if you need special assistance to participate in this meeting, please contact the Town Clerk at ckacmar@townofsananselmo.org. Notification at least 48 hours prior to the meeting will enable the Town to make reasonable accommodation to help insure accessibility to this meeting.

Questions. Please contact staff (415) 258-4617 or planning@townofsananselmo.org.



Town of San Anselmo

525 San Anselmo Avenue
San Anselmo, CA 94960

Staff Report

TO: Planning Commission

5/2/2022

Item #: 4A.

MINUTES TOWN OF SAN ANSELMO PLANNING COMMISSION

Monday, April 18, 2022

This meeting was conducted via Zoom.

Commissioners Present: Chair Thomas Tunny
Jennifer Asselstine
Leyla Hilmi
Danny Krebs
Gary Smith

Commissioners Absent: Tim Heiman

Staff Present: Town Clerk Carla Kacmar
Assistant Town Attorney Emily Longfellow
Planning Consultant Lorraine Weiss

1. Call to Order

Chair Tunny opened the meeting at 7:00 p.m.

2. Open Time for Public Expression

There were no comments.

3. Planning Directors Report

There was no report.

4. Approval of Minutes

A. Approve minutes from the March 21, 2022 meeting.

M/s, Krebs/Smith, motion to approve the March 21, 2022 minutes as submitted.

Ayes: All

Absent: Heiman

5. Public Hearings

A. 24 Woodland Avenue: Design Review for a significant remodel and second story addition. The applicant requests design review to construct a 174 square foot first story addition and 1,093 square foot second story addition to an existing legal non-conforming single-family residence in an R-2 Medium Density Multifamily Zoning District. The lower-level floor would be elevated 1'9" to comply with Town flood

prevention regulations. The maximum building height would be 26'-6" (up to 30 feet allowed). This project was continued for further redesign at the January 10, 2022 Planning Commission meeting.

Planning Consultant Weiss presented the staff report. She made the following corrections to the staff report: 1) On page 3, first bullet under "Project Description", the reference to a reduction in the garage size is not applicable to this project and the end of the sentence should read, "...this eliminates the legal non-conformity"; 2) On page 6, the staff recommendation is to the Planning Commission and not the Town Council. The Commission continued this application at its January 10th meeting to allow the applicant to revise the design to provide a 20-foot upper floor front yard setback in order for the front building elevation to be further back from the street and sidewalk and to revise the story poles to reflect these changes. She summarized the revisions made to the design.

Chair Tunny opened the Public Hearing.

Mr. Jeff Kroot, architect, gave the following comments:

- They considered the Commission comments from the last meeting.
- They looked at the floor plan and decided to move the house back four feet.
- The plans are similar to what was submitted in January.
- There are existing rooms on the lower floor that they wanted to keep.
- There will be a new foundation.
- This two-story house is similar to the others in the neighborhood.
- They are keeping the front porch.
- The design will be attractive as seen from the street.
- There was universal support from the neighbors.

Commissioner Krebs asked if the new plans were presented to the neighbors. Mr. Kroot stated he was not sure. The change in the story poles depicted the design. Commissioner Krebs asked if there was an obligation to re-notice this application. Town Clerk Kacmar stated all residents within a 300-foot radius received a notice.

Chair Tunny closed the Public Hearing.

Commissioner Smith provided the following comments:

- He likes the direction of the changes.
- The façade is softened by having multiple planes at different lengths from the street.
- It looks less massive.
- He likes the east elevation- it is softer due to the relief given by the different planes. It has a sense of depth and texture.
- The west elevation window wall is a by-product of having a two-story home. It would be difficult to change the number of windows without impacting the program.
- The revised proposal conforms to the Commissions' prior recommendations.

Commissioner Hilmi provided the following comments:

- Her prior concerns about the setback distance and setting a precedent have been addressed.
- She has no objections to the design.
- She could approve the application.

Commissioner Asselstine provided the following comments:

- She appreciated the owners and the architect addressing the Commission concerns.

- A fair bit of work will be done on the site given the need for a new foundation.
- She supported the overall re-massing.
- She is pleased with the amount of neighborhood support.

Commissioner Krebs provided the following comments:

- He agreed with the comments made by Commissioner Asselstine.
- This is a well-designed house.
- This is a fairly large house on a smaller lot (0.45 Floor Area Ratio) but this is common in this neighborhood.
- He supports the project.

Chair Tunny provided the following comments:

- He agreed with the comments made by the other Commissioners.
- This design is well done.
- He appreciates the efforts of the owners and the architect.

M/s, Krebs/Hilmi, motion to approve the application based on the findings and conditions set forth in the staff report.

Ayes: All

Absent: Heiman

Chair Tunny stated there is a 10-day appeal period.

B. Continued to May 2, 2022

931 San Anselmo Avenue: Request for a Conditional Use Permit to convert the existing Full Circle residential home for individuals recovering from chemical dependency into a licensed care facility. The facility would continue to serve 17 adults in total at any given time. However, clients would not have vehicles at this site. Additional staff would work at the site and use the existing parking spaces. Clients are expected to stay for periods of 30 days, where existing clients generally stay for several months. Clients would not see visitors on site. The applicant proposes client admission during daytime business hours and an offsite business office. This item was continued from the March 7, 2022 Planning Commission Public Hearing.

Assistant Town Attorney Longfellow stated this item has been continue to the May 16, 2022 Planning Commission meeting.

C. Continued to May 2, 2022

141 Crescent Road: Design Review for two-story addition and floor area exception to construct a 172 square foot, two-story addition to the south facing side of the existing single-family residence. The maximum building height would be approximately 22' (up to 30 feet is allowed)

D. Determine the Commission's preferred meeting format based on the Town Council direction

Town Clerk Kacmar presented the staff report. The Council has decided that the public cannot attend meetings in person and the focus of the discussion should be on Commissioner's attendance options. She discussed the options: 1) Continue Zoom meetings; 2) A hybrid option. In person attendance would require proof of two vaccinations.

Commissioner Krebs asked how the hybrid option would work (camera system, TV screen, etc.). Town Clerk Kacmar stated Marin TV would be in the Council Chambers with a monitor that would allow screening of the Zoom participants. The goal is to duplicate the experience whether participating in person or via Zoom.

Commissioner Smith asked if in person attendance would require wearing a mask. Town Clerk Kacmar stated it was optional.

Commissioner Hilmi had questions about how documents and plans would be displayed. Town Clerk Kacmar stated the Town would have a Smartscreen for this purpose.

Assistant Town Attorney Longfellow stated many of the jurisdictions in Marin have decided to do hybrid meetings. Officials and staff attend in person.

Commissioner Asselstine had a question about how public presentations and testimony (applicants and neighbors) would be handled.

Chair Tunny opened the Public Hearing.

There were no comments.

Chair Tunny closed the Public Hearing.

Commissioner Krebs stated he could support trying out a hybrid meeting. However, there is great benefit in the interaction between the Commission and the public.

Chair Tunny supported the hybrid option and would like to know ahead of time what Commissioners planned to do. He would probably attend the meeting if everybody else did. He did not want to burden staff.

Commissioner Hilmi stated it did not make sense to have in person meetings without the public. She asked if an exception could be made to allow the public at Commission meetings. Assistant Town Attorney Longfellow stated it would be difficult for the Council to make one set of findings for the Planning Commission and another for the other bodies.

Commissioner Smith agreed and supported the continuation of Zoom meetings until everyone can attend in person.

Commissioner Asselstine stated she would attend in person if everyone else did. She emphasized that all individuals speaking to the Commission must be treated equally. The use of Zoom can make things more democratic.

M/s, Krebs/Asselstine, motion to approve the continuation of a solely virtual meeting format and re-evaluate in May.

Ayes: All

Absent: Heiman

6. Items from Planning Commission

Commissioner Asselstine asked Town Clerk Kacmar if the Commission could receive materials for the 931 San Anselmo Avenue application as soon as possible. Town Clerk Kacmar stated "yes".

Commissioner Krebs asked about the recruitment for a new Planning Director. Assistant Town Attorney

Longfellow stated staff has received responses to the Request for Proposal (RFP) and will be looking at the candidates.

7. Adjournment- Chair Tunny adjourned the meeting at 8:01 p.m.

Respectfully submitted,
Toni DeFrancis, Recording Secretary



Town of San Anselmo

525 San Anselmo Avenue
San Anselmo, CA 94960

Staff Report

TO: Planning Commission

5/2/2022

Item #: 5A.

Project Address: 141 Crescent Road
Applicant: Dave Jochum
Owners: Ann Rupers
Assessor's Parcel No.: 007-232-57
Zoning District: Single Family Residential Below 150 Mean Sea Level
General Plan Designation: Single Family Residential
FEMA Flood Zone: X (outside Special Flood Hazard Area)

Request

Applicant requests Design Review approval for 172 square foot two story addition and a Maximum Adjusted Floor Area Exception. Total floor area would be 3,005 sq. ft. excluding 400 sq. ft. of existing garage space (up to 2,975 sq. ft. permitted). Maximum Adjusted Floor Area Exception. The maximum Adjusted Floor Area may be exceeded on a lot by up to 325 square feet, for houses built after 2009, subject to Design Review approval pursuant to Article 15 of this chapter. (Ord. No. [1133](https://library.municode.com/ca/san_anselmo/ordinances/code_of_ordinances?nodeId=999346) https://library.municode.com/ca/san_anselmo/ordinances/code_of_ordinances?nodeId=999346), [§ 3](https://library.municode.com/ca/san_anselmo/codes/code_of_ordinances?nodeId=ORNO456_S3CEORREEF) https://library.municode.com/ca/san_anselmo/codes/code_of_ordinances?nodeId=ORNO456_S3CEORREEF, 3-12-2019) = 3,205. The maximum building height would be 22' 11" (up to 30 feet allowed).

Lot Size	8,179 sq. ft.
Existing Lot Coverage	1,802 sq. ft. 22%
Proposed Lot Coverage	1,886 sq. ft. 23% (up to 35% allowed)
Existing Adjusted Floor Area (FAR)	2,833 sq. ft. 34.6%
Proposed FAR	3,005 sq. ft. 36.7% (maximum allowed 35% +325 sq. ft. with design

review)

Recommendation

Approve the application based on the findings and conditions in Attachment 3 and require the story poles to be removed in 11 days unless an appeal is filed.

Alternatives available to the Planning Commission:

1. Deny the application and require the story poles to be removed in 11 days unless an appeal is filed; or
2. Continue the application for modifications.

I. PROJECT SUMMARY

Existing and Proposed Conditions

	Existing	Proposed	Code
Zoning	R-1 Single Family, <u>Below</u> 150 Mean Sea	Same	Same
General Plan	Single Family	Same	Same
Flood Zone	X (outside Special Flood Hazard Area)	Same	Same
Lot Size (sq. ft.)	8,179 sq. ft.	Same	7,500 sq. ft.
Lot Coverage (sq. ft.)	1,802	1,886	2863 sq. ft.
Lot Coverage (%)	22%	23%	35%

Adjusted Floor Area (sq. ft.)	First Story 1,776 Second Story 689 <u>Garage</u> 368 ¹ Total 2,833	First Story 1,860 Second Story 777 <u>Garage</u> 368 ¹ Total 3,005	8,179 sq. ft. (35%) + 325 = 3,188 plus 400 sq. ft. garage
Adjusted Floor Area Ratio sq. ft. (%)	35%	37%	35% + 325 ² sq. ft. = 43.8%
Setbacks³ (<u>main</u> residence)	Front: 24.17 feet Rear: 31.08 feet South Side: 18.5 feet North Side: 6.92 feet	Front: 24.17 feet Rear: 31.08 feet South Side: 17.83 feet North Side: 6.92 feet	Front: 20 feet Rear: 20 feet Street Side: 12 feet Side: 8 feet
On-Site Parking	2 that comply with all setbacks	2 that comply with all setbacks	2 that comply with all setbacks
Stories	2	2	2
Maximum Height Above Average Existing Grade	24 feet 4 inches	24 feet 4 inches	30 feet

Timing

Pursuant to the Permit Streamlining Act (California Government Code Section 65950 et. seq.) the Planning Commission must approve or disapprove the project by within 60 days of the project being deemed complete and exempt from CEQA. Staff recommends finding the project exempt from CEQA (See Attachment 3).

Public Notice

A notice was posted at the site and mailed to all residents and property owners with 300 feet of the project site. Correspondence received for the last public hearing meeting may be viewed here:

https://sananselmo-ca.granicus.com/GeneratedAgendaViewer.php?view_id=1&clip_id=545

Staff has received no correspondence in opposition to the project.

Project Description

See project plans (Attachment 1).

The applicant proposes to add 172 square feet of additional building area to the building, 84 square feet on the 1st floor and 88 square feet on the second floor. The project would retain all the existing residence but remove an existing trellis. The additional square footage would allow the dining room and master bedroom to be expended.

The following entitlements are required to approve the project:

Design Review is required for a second story addition. The project creates 84 square feet of additional living space on the 1st floor and 88 square feet of living space on the second floor.

Design Review for a Maximum Floor Area Exception is required for the addition to exceed the maximum adjusted floor area for the site by 142 square feet. The Planning Commission can approve up to 325 square feet of additional floor area over the maximum if the design review findings can be made.

II. DISCUSSION***Design Review***

San Anselmo Municipal Code section 10-3.1506 contains the required findings to approve a Design Review application. The purpose of design review is to “minimize adverse effects of poor or inappropriate exterior design” that “adversely affects the health, safety, and welfare of the residents of the Town by creating conditions which: (a) Endanger the lives of persons using adjacent streets and property; (b) Decrease property values in the surrounding area or the Town as a whole; (c) Impair the comfort and well-being of the persons using such real property; and/or (d) Are aesthetically incompatible with adjacent real property.” The intent of design review is to ensure these adverse effects are eliminated or minimized through the imposition of conditions, if necessary. “The Town shall seek to encourage creativity and variety in design...”

Staff suggests that the Design Review findings can be made as detailed in Attachment 3 and in the applicant’s detailed statement (Attachment 2).

Two story buildings are allowed and building heights vary from one to two stories in the neighborhood. The area has a mix of architectural styles and staff believes the proposed building design would be compatible with

the mixed visual character of the area.

Staff believes the design meets criteria that has been used to approve other second story additions and floor area exceptions in the Town.

Floor Area Exception

The addition would increase the Adjusted Floor Area to 2,066 square feet, which is 274 square feet over the maximum allowed by code. The addition requires a floor area exception.

San Anselmo Municipal Code section 10-3.412 governs maximum floor area and lot coverage for residences located below 150 Mean Sea Level Elevation, including the subject property. SAMC section 10-3.412(e) provides an exception stating: "The maximum Adjusted Floor Area may be exceeded on a lot by up to 325 square feet subject to Design Review approval pursuant to article 15 of this chapter."

The Planning Commission should consider if findings can be made for the floor area exception requested. The Planning Commission must find the design, "employs mass reducing techniques such that the additional square footage over the Adjusted Floor Area is reasonably mitigated and does not result in overbuilding of the lot." Staff believes these findings can be made due to the modulation of the building mass and maintaining existing architectural style.

Prepared By:

Richard Smeaton, AICP

Contract Interim Planning Director

Attachments:

1. Project Plans
2. Application Materials and Findings
3. Draft Findings, Conditions of Approval, and Standard Conditions of Approval

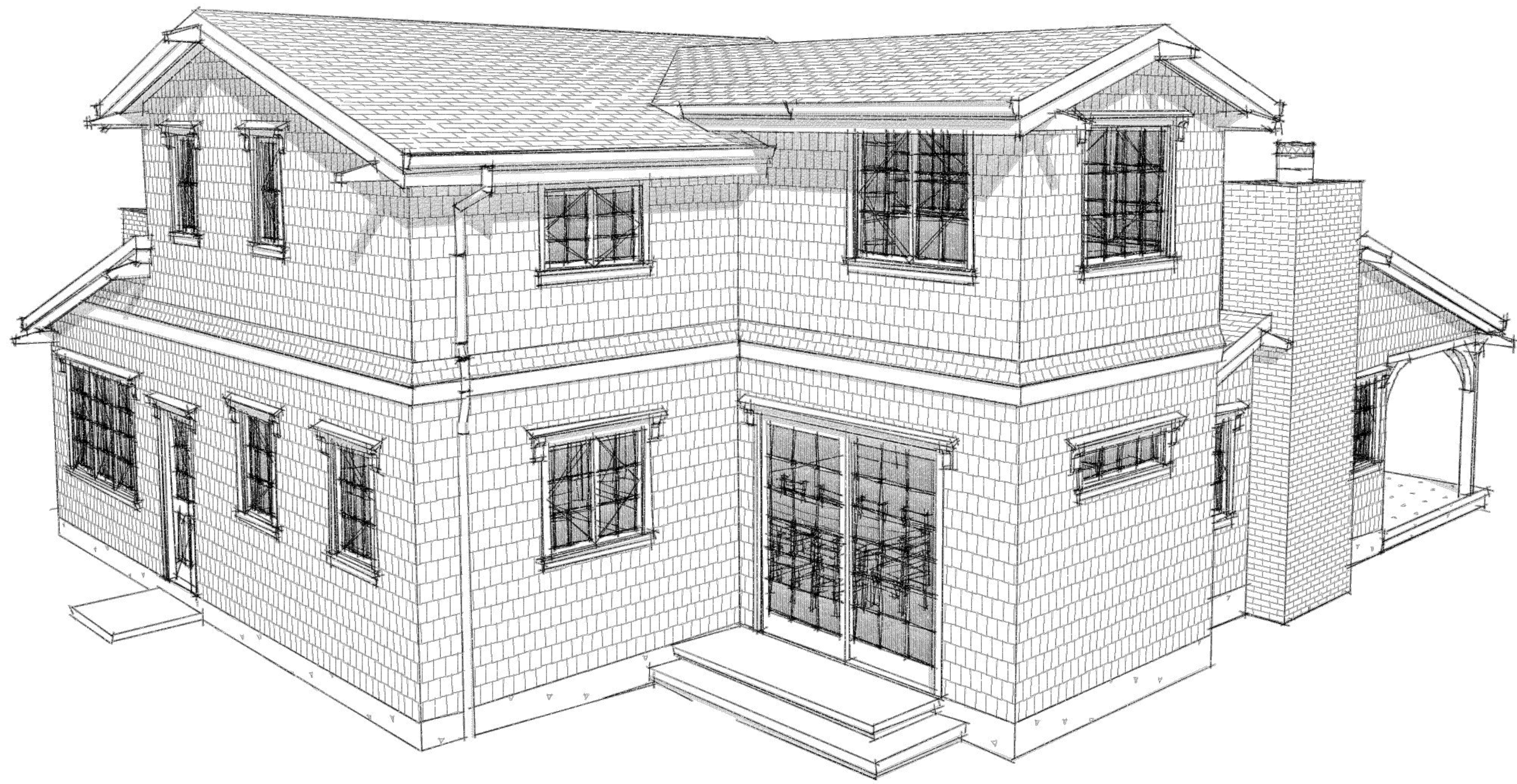
Rupers Residence Renovations

141 CRESCENT ROAD

SAN ANSELMO CA

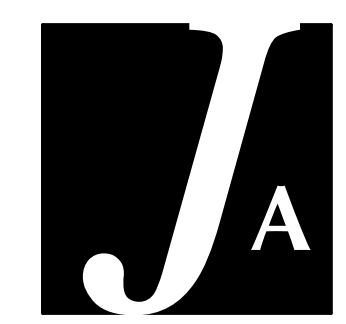
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Rupers Residence Renovations
141 CRESCENT ROAD
SAN ANSELMO CA
AP# 007-232-57



DESIGN REVIEW

RUPERS RESIDENCE RENOVATIONS 01.12.22



Jochum ARCHITECTS

DAVE JOCHUM

7 ANTON WAY
NOVATO, CA 94945

415.939.5775
dave@jochumarchitects.com

WWW.JOCHUMARCHITECTS.COM

STRUCTURAL ENGINEER

PETER NISSEN CONSULTING ENGINEER
30 BEATTIE AVENUE
NOVATO, CA 94945
415.382.7790
peter@nissenengineering.com

TITLE 24 ENGINEER

CHUCK CLEMMONS
ENERGY CALC CO.
45 MITCHELL BLVD. • SUITE 16
SAN RAFAEL, CA 94903
415.457.0990
jchs@energycalc.co

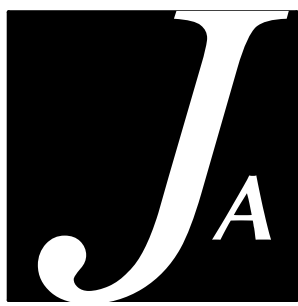
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INTERIOR DESIGN

JOEY BUCKINGHAM
JOSEFA BUCKINGHAM DESIGN
PO BOX 1773
ROSS, CA 94957
415.456.8834 •
joey@josefabuckingham.com

PROGRESS
NOT FOR CONSTRUCTION
1/12/22

A1.0



Rupers Residence Renovations

141 CRESCENT ROAD

SAN ANSELMO CA

Jochum ARCHITECTS
www.jochumarchitects.com

7 ANTON WAY
NOVATO CA 94945
415.761.9301
dave@jochumarchitects.com

Rupers Residence Renovations

141 CRESCENT ROAD
SAN ANSELMO CA
AP #007-232-57
Job #211002

Owners:
ANN RUPERS
141 CRESCENT ROAD
SAN ANSELMO CA 94960
415.999.8288
annierupers@me.com

PRINTINGS

01.12.22 Design Review

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TITLE SHEET GENERAL INFO

1" ACTUAL

IF THE ABOVE DIMENSION DOES NOT MEASURE EXACTLY ONE INCH, THEN THE SCALE OF THIS SHEET HAS BEEN ALTERED FROM ITS ORIGINAL - REFER TO GRAPHIC SCALES ONLY, NOT WRITTEN

A1.1

ABBREVIATIONS

& @ #	AND AT NUMBER	H.P. H.R. HT. HTR. H.W.	HIGH POINT HAND RAIL HEIGHT HEATER HOT WATER
A.B.	ANCHOR BOLT	I.D.	INSIDE DIAMETER
A/C	AIR CONDITIONING	IN.	INCH
ACOUS.	ACOUSTICAL	INSUL.	INSULATION
A.D.	AREA DRAIN	INT.	INTERIOR
ADDL.	ADDITIONAL	INTER.	INTERMEDIATE
ADJ.	ADJUST, ADJUSTABLE	JT.	JOINT
ADJAC.	ADJACENT	JST.	JOIST
AGGR.	AGGREGATE	KIT.	KITCHEN
ALUM.	ALUMINUM	L.	LOWER
ALT.	ALTERNATE	LAM.	LAMINATE
APPROX.	APPROXIMATE	LAV.	LAVATORY
ARCH.	ARCHITECTURAL	LB.	POUND (WEIGHT)
ASPH.	ASPHALT	LIN.	LINEAL, LINEAR OR LINEN
A/V	AUDIO/VISUAL	L.P.	LOW POINT
BD.	BOARD	LT.	LIGHT
BLDG.	BUILDING	M.	MASTER
BLK.	BLOCK	MACH.	MACHINE
BLKG.	BLOCKING	MAINT.	MAINTENANCE
BM.	BEAM	MAT.	MATERIAL
B.O.	BOTTOM OF	MAX.	MAXIMUM
BTWN.	BETWEEN	M.B.	MACHINE BOLT
CAB.	CABINET	M.C.	MEDICINE CABINET
C.B.	CATCH BASIN	MECH.	MECHANICAL
C.B.C.	CA BUILDING CODE	MEMB.	MEMBRANE
C.E.C.	CA ELECTRICAL CODE	MFR.	MANUFACTURER
C.M.C.	CA MECHANICAL CODE	MIN.	MINIMUM
C.P.C.	CA PLUMBING CODE	MISC.	MISCELLANEOUS
CEM.	CEMENT, CEMENTICIOUS	ML.	MICROLAM
C.I.	CAST IRON	MNT.	MOUNT
C.J.	CONSTRUCTION JOINT	M.O.	MASONRY OPENING
CKTP.	COOKTOP	MSRY.	MASONRY
CL.	CLOSET	MTD.	MOUNTED
CLG.	CEILING	MTL.	METAL
CLKG.	CAULKING	MW.	MICROWAVE
CLR.	CLEAR	(N)	NEW, TO BE ADDED
C.M.U.	CONCRETE MASONRY UNIT	N	NORTH
C.O.	CASED OPENING	N.I.C.	NOT IN CONTRACT
COL.	COLUMN	NO.	NUMBER
COMMUN.	COMMUNICATIONS	NOM.	NOMINAL
COMP.	COMPOSITION	N.T.S.	NOT TO SCALE
CONC.	CONCRETE	OA.	OVERALL
COND.	CONDITION	OBS.	OBSCURE
CONN.	CONNECTION	O.C.	ON CENTER
CONST.	CONSTRUCTION	O.D.	OUTSIDE DIAMETER
CONT.	CONTINUOUS	OCFI	OWNER FURNISHED - CONTRACTOR INSTALLED
CONTR.	CONTRACTOR	OFF.	OFFICE
COORD.	COORDINATE	OH.	OVERHEAD
C.T.	CARPET	OPNG.	OPENING
CSWK.	CASEWORK	OPP.	OPPOSITE
CTOP.	CERAMIC TILE	P.B.	PROTECTION BOARD
COUNTER.	COUNTERTOP	PERIM.	PERIMETER
CTR.	CENTER	PRKG.	PARKING
CTSK.	COUNTERSINK	PL	PLATE, PROPERTY LINE, PARALAM
C.W.	COLD WATER	PLAM.	PLASTIC LAMINATE
D	DRYER OR DRAWER	PLAS.	PLASTER
DBL.	DOUBLE	PLYWD.	PLYWOOD
DEPT.	DEPARTMENT	PNL.	PANEL
DET.	DETAIL	PNT.	PAINT OR PAINTED
D.F.	DOUGLAS FIR	PR.	PAIR
DIA.	DIAMETER	PSI	PER SQUARE INCH
DIAG.	DIAGONAL	PT.	POINT
DIM.	DIMENSION	P.T.	PRESSURE TREATED
DIR.	DIRECTION	P.T.D.	PAPER TOWEL DISPENSER
DISP.	(GARBAGE) DISPOSAL	QTY.	QUANTITY
DN.	DOWN	S	SOUTH
D.P.	DAMP PROOFING	SHT.	SHEET
DS	DOWNSPOUT	S.C.D.	SEE CIVIL DRAWINGS
DSPR.	DISPENSER	S.I.D.	SEE INTERIORS DRAWINGS
DW	DISHWASHER	S.L.D.	SEE LANDSCAPE DRAWINGS
DWG.	DRAWING	S.S.D.	SEE STRUCTURAL DRAWINGS
DWR.	DRAWER	ST, STL.	STAINLESS STEEL
(E)	EXISTING, TO REMAIN	T & B	TOP AND BOTTOM
E	EAST	TS	TOWEL BAR
EA.	EACH	TC	TRASH COMPACTOR
E.J.	EXPANSION JOINT	TEL	TELEPHONE
EL.	ELEVATION	TEMP.	TEMPERED
ELEC.	ELECTRICAL, ELECTRONIC	TER.	TERRAZZO
ELEV.	ELEVATOR	T & G	TONGUE AND GROOVE
E.N.	END NAIL	THK.	THICK
E.W.	EACH WAY	TJI	TRUSS JOIST
ENCL.	ENCLOSURE	T.N.	TOE NAIL
EQ.	EQUAL	T.O.	TOP OF
EQPT.	EQUIPMENT	T.O.C.	TOP OF CURB
EXP.	EXPANSION EXPOSED	T.O.F.	TOP OF FINISH
EXT.	EXTERIOR	T.O.FL.	TOP OF FLOOR
F.A.	FIRE ALARM	T.O.P.	TOP OF PLATE
F.A.U.	FORCED AIR UNIT	T.O.W.	TOP OF WALL
F.D.	FLOOR DRAIN	T.P.D.	TOILET PAPER DISPENSER
FDN.	FOUNDATION	T.P.H.	TOILET PAPER HOLDER
F.E.	FIRE EXTINGUISHER	TRANSP.	TRANSPARENT
FIN.	FINISH, FINISHED	TV.	TELEVISION
FIXT.	FIXTURE	U.B.C.	UNIFORM BUILDING CODE
FLR.	FLOOR	U.C.	UNDER COUNTER
FLRG.	FLOORING	UNEXC.	UNEXCAVATED
FLASH.	FLASHING	UNF.	UNFINISHED
FLUOR.	FLUORESCENT	U.O.N.	UNLESS OTHERWISE NOTED
F.N.	FIELD NAIL	VAR.	VARIES
F.O.C.	FACE OF CONCRETE	V.C.T.	VINYL COMPOSITION TILE
F.O.F.	FACE OF FINISH	V.BAR.	VAPOR BARRIER
F.O.S.	FACE OF STUDS	VEN.	VENEER
FP.	FIREPLACE	VERT.	VERTICAL
FRF.	FIREPROOFING	VEST.	VESTIBULE
FR.	FRAME	VIN.	VINYL
FRG.	FRAMING	VOL.	VOLUME
FT.	FOOT OR FEET	W	WEST, (CLOTHES) WASHER, WATT(S)
FTG.	FOOTING	W/	WITH
FURR.	FURRING	W/D	WASHER & (CLOTHES) DRYER
G	GAS OUTLET, GALLON	WC	WATER CLOSET (TOILET)
GA.	GAUGE	WD.	WOOD
GALV.	GALVANIZED	W.H.	WATER HEATER
G.B.	GRAB BAR	WH.	WHITE
GEN.	GENERAL	W/O	WITHOUT
GFI.	GROUND FAULT CIRCUIT INTERRUPTER	W/P	WATERPROOF
GL.	GLASS	W.P.M.	WATERPROOF MEMBRANE
GND.	GROUND	WSC.	WAINSCOT
GR.	GRADE	WT.	WEIGHT
G.S.M.	GALVANIZED SHEET METAL	W.R.	WATER RESISTANT
GYPBD.	GYPSPUM BOARD	WUI	WILDLAND URBAN INTERFACE
H.	HIGH	W.W.F.	WELD WIRE FABRIC
HB.	HOSE BIB		
HCP.	HANDICAP		
H.C.	HOLLOW CORE		
H.D.	HEAD		
HDR.	HEADER		
HDWD.	HARDWOOD		
HDW.	HARDWARE		
HT.	HEIGHT		
H.M.	HOLLOW METAL		
HORIZ.	HORIZONTAL		

PROJECT DATA

Zoning Designation:	R-1	Occupancy:	R-3/U
Assessor's Parcel No.:	007-232-57	Construction Type:	V-B
Min. Allowable Site Area (SF):	7,500	Automatic Sprinklers Req'd:	No
Actual Site Area (SF):	8,179	Design Occupant Load:	9

	Zoning Req't. (Max.)	Existing Bldgs.	Proposed Project	Change
Building Footprint (SF) *1	2,863	1,802	1,886	+84
Lot Coverage *2	35%	22%	23%	+1%
Floor Area				
Upper Floor		689	777	+88
Entry Floor		1,776	1,860	+84
Total Living Area		2,465	2,637	+172
Garage		768	768	+0
Less 400 s.f.		-400	-400	+0
Adjusted Floor Area		2,833	3,005	+172

Floor Area Ratio (FAR) *3	35%	35%	37%	+2%
Building Height *4	30'-0" / 2 stories	22'-11"	22'-11"	0'-0"

Setbacks	(Min.)			
East (front)	20'-0"	24'-2"	24'-2"	+0
South (Street side)	12'-0"	18'-6"	17'-10"	-8"
West (rear)	20'-0"	31'-1"	31'-1"	+0
North (side)	8'-0"	6'-11"	6'-11"	+0

Parking	2 Spaces @ 9x19'	2	2	0
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Notes

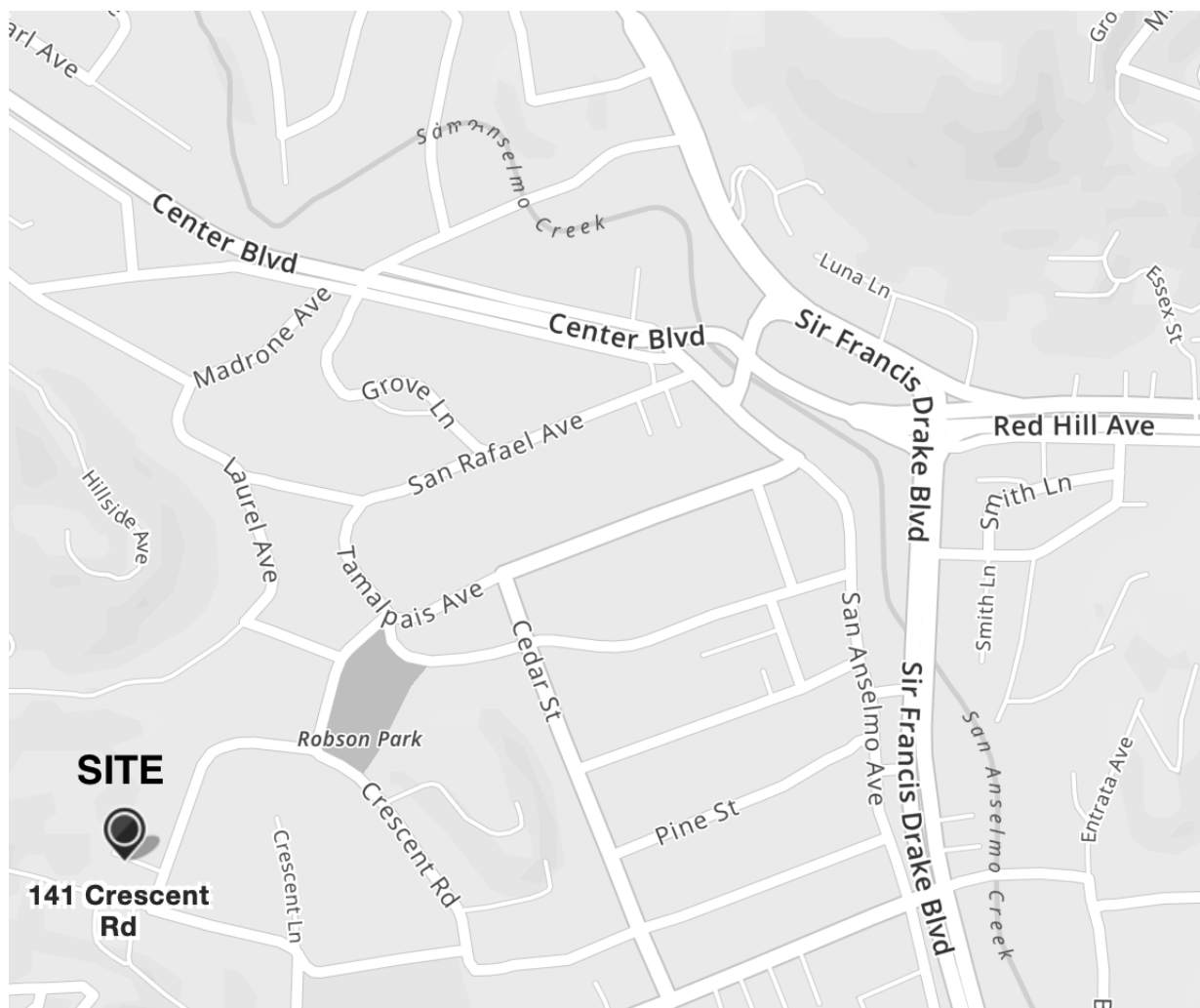
- *1 Building Footprint includes areas required for Lot Coverage calculation
- *2 Lot Coverage includes footprint of all structures & decks - Does not include eaves - 35% lots below 150' mean sea level
- *3 Table 4F for properties below 150 msl.

APPLICABLE CODES

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES:

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
2016 WILDLAND URBAN INTERFACE CODE
*** LOCAL CODE ***

VICINITY MAP





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7 ANTON WAY
NOVATO CA 94945
415.761.9301
dave@jochumarchitects.com

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141 CRESCENT ROAD
SAN ANSELMO CA
AP #007-232-57
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Owners:
ANN RUPERS
141 CRESCENT ROAD
SAN ANSELMO CA 94960
415.999.8288
annierupers@me.com

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SITE DEMOLITION
PLAN

IF THE ABOVE DIMENSION DOES NOT MEASURE
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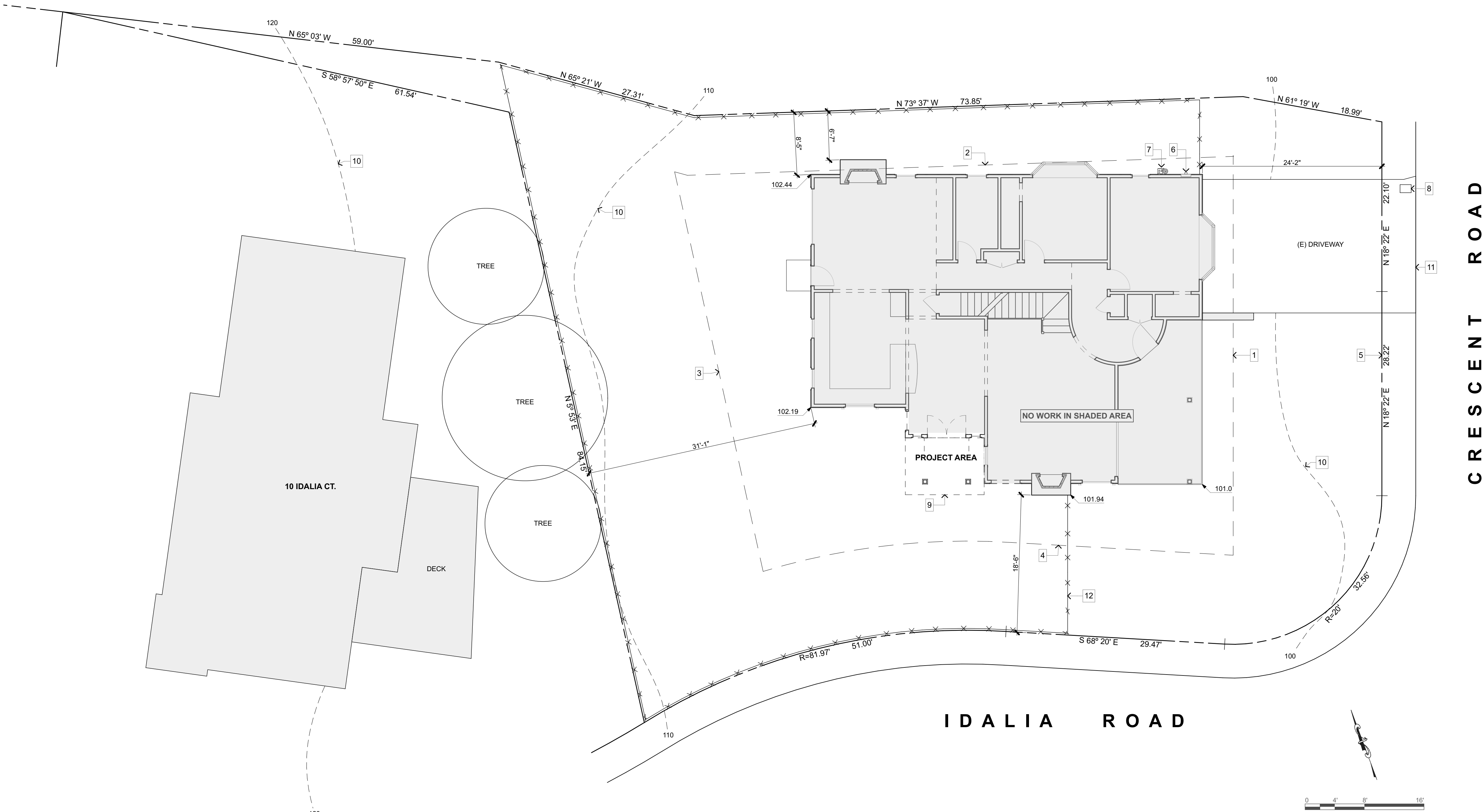
A2.1

SITE DEMOLITION PLAN
GENERAL NOTES

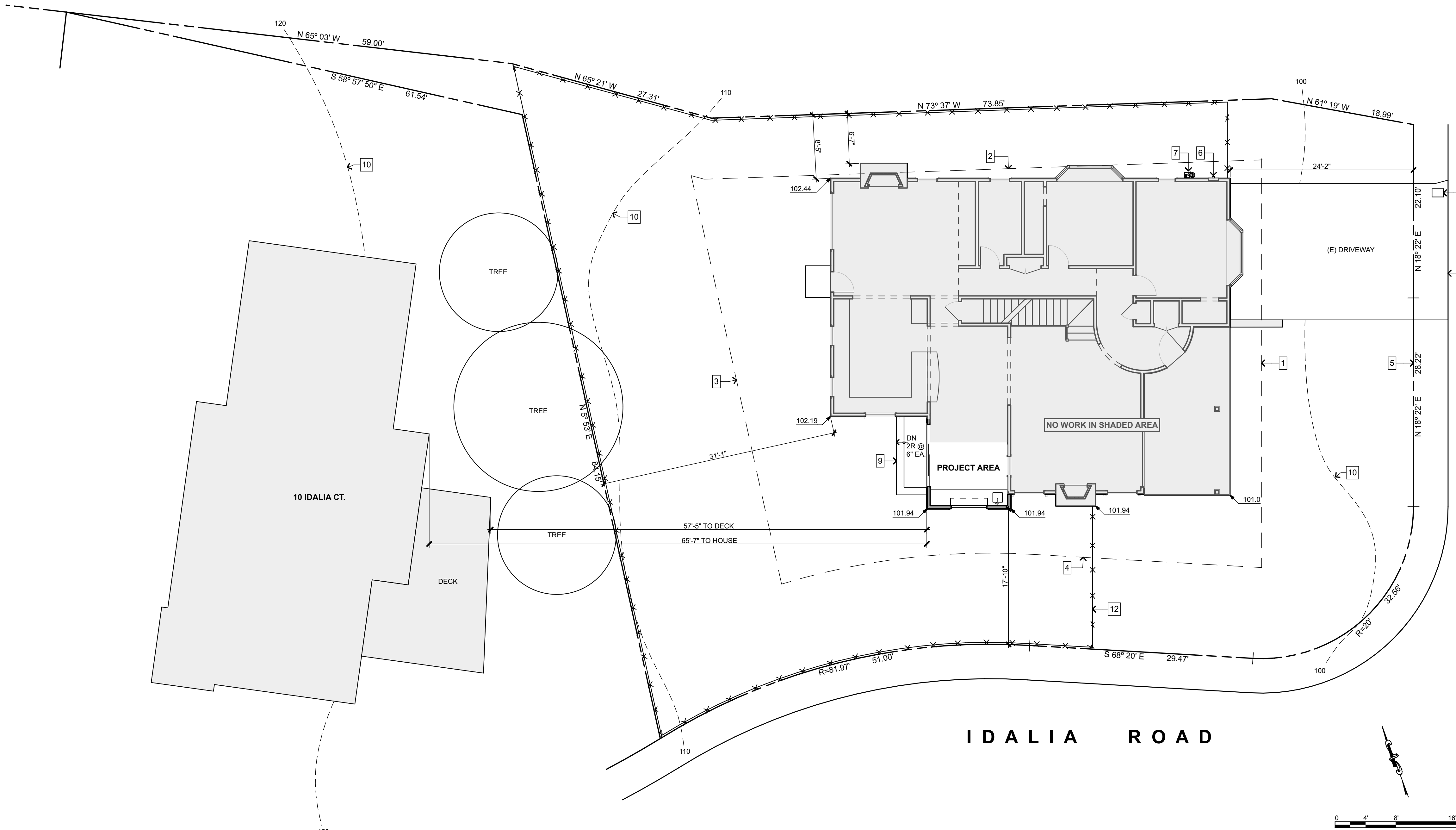
- A. SHADED AREA OF HOUSE FOOTPRINT IDENTIFIES AREA OF NO WORK
B. PROTECT ALL SURFACES NOT IDENTIFIED FOR DEMOLITION

SITE DEMOLITION PLAN
REFERENCE NOTES

1. 20' FRONT SETBACK
2. 12' SIDE SETBACK
3. 20' REAR SETBACK
4. 8' STREET SIDE SETBACK
5. PROPERTY LINE - TYP.
6. (E) MAIN ELECTRIC PANEL & METER
7. (E) NATURAL GAS METER
8. (E) WATER METER
9. DEMO STONE TERRACE (IMPERVIOUS SURFACE)
10. TOPO LINES FROM MARINMAP
11. (E) EDGE OF ROAD
12. (E) WD. FENCE



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SITE PLAN GENERAL NOTES

- A. ALL ITEMS IDENTIFIED BELOW ARE NEW CONSTRUCTION UNLESS LABELED "(E)".
- B. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRASH, STAGING, AND OTHER SIMILAR LOCATIONS APPROVALS WITH THE BUILDING DEPARTMENT.
- C. SITE ELEMENTS OTHER THAN HOUSE AND CREEK BASED ON MAPPING BY MAPMAKING SYSTEMS, INC. DATED 12/1/13.
- D. SHADED AREA OF HOUSE FOOTPRINT IDENTIFIES AREA OF NO WORK
- E. EXTEND (E) FDN. DRAINAGE AROUND (N) CONSTRUCTION. ALL SITE DRAINAGE TO MATCH (E) PATTERNS

SITE PLAN REFERENCE NOTES

1. 20' FRONT SETBACK
2. 12' SIDE SETBACK
3. 20' REAR SETBACK
4. 8' STREET SIDE SETBACK
5. PROPERTY LINE - TYP.
6. (E) MAIN ELECTRIC PANEL & METER
7. (E) NATURAL GAS METER
8. (E) WATER METER
9. (N) STONE SITE STEPS
10. TOPO LINES FROM MARINMAP
11. EDGE OF ROAD
12. (E) WD. FENCE



JochumARCHITECTS
www.jochumarchitects.com
7 ANTON WAY
NOVATO CA 94945
415.761.9301
dave@jochumarchitects.com

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Renovations**

141 CRESCENT ROAD
SAN ANSELMO CA
AP #007-232-57
Job #211002

Owners:
ANN RUPERS
141 CRESCENT ROAD
SAN ANSELMO CA 94960
415.999.8288
annierupers@me.com

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SITE PLAN

PROJECT LOCATION
37.97273851202572, -122.56989173434935

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SAN ANSELMO CA
AP #007-232-57
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ANN RUPERS
141 CRESCENT ROAD
SAN ANSELMO CA 94960
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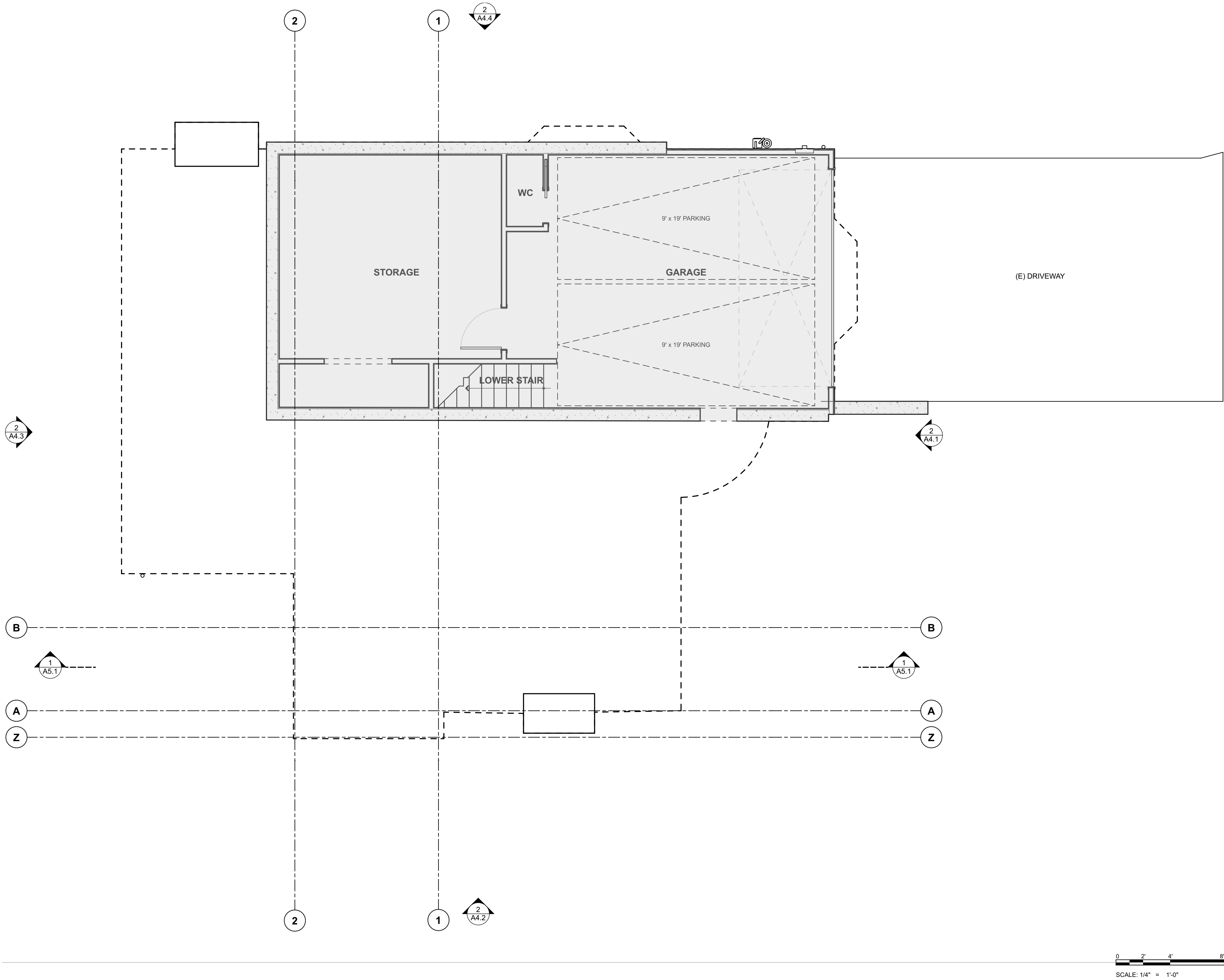
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**EXISTING
GARAGE FLOOR
PLAN (NO WORK)**

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A3.1





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141 CRESCENT ROAD
SAN ANSELMO CA 94960
AP #007-232-57
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Owners:
ANN RUPERS
141 CRESCENT ROAD
SAN ANSELMO CA 94960
415.999.8288
annierupers@me.com

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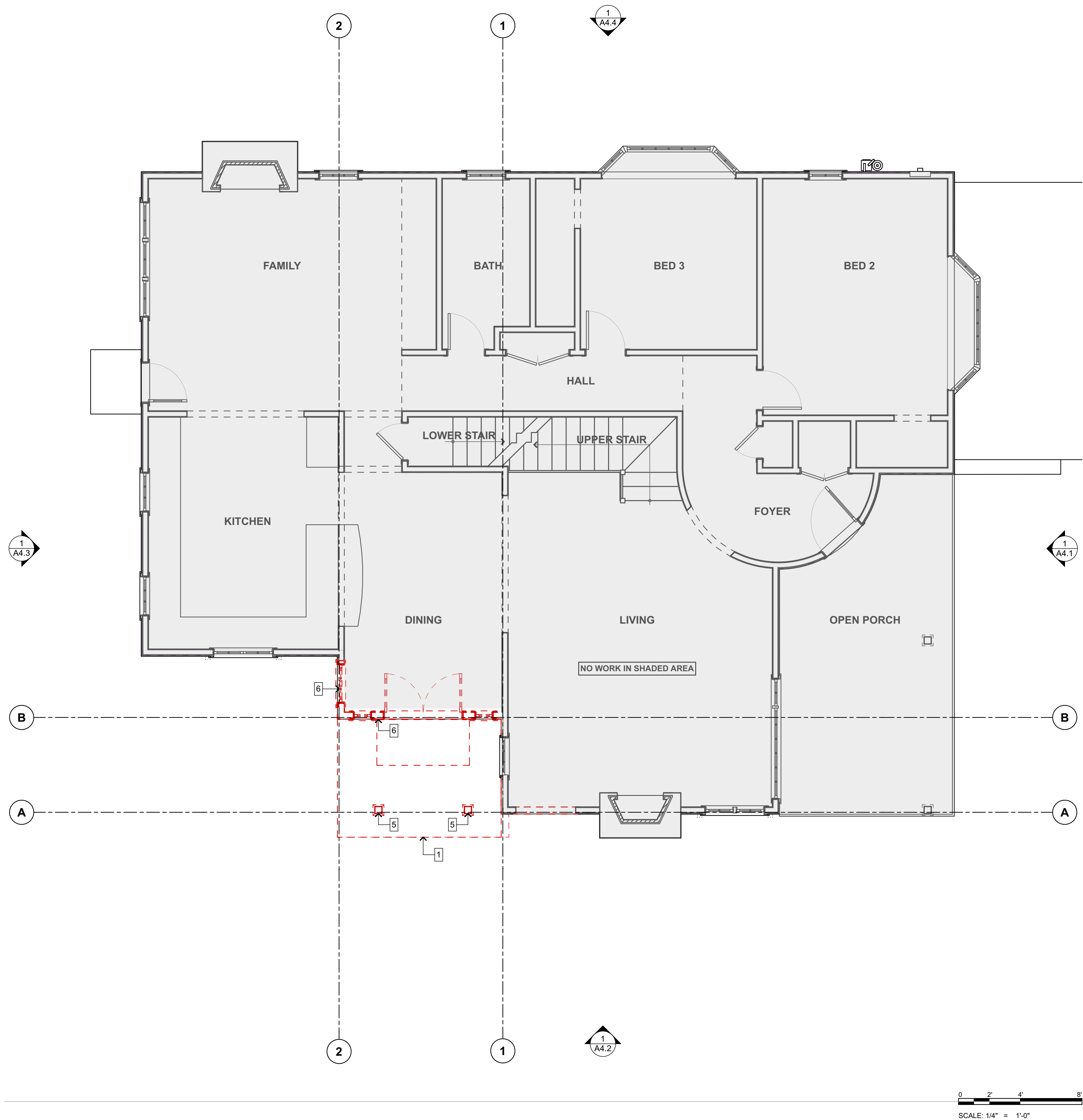
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DEMO FLOOR
PLAN - ENTRY
FLOOR

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A3.2



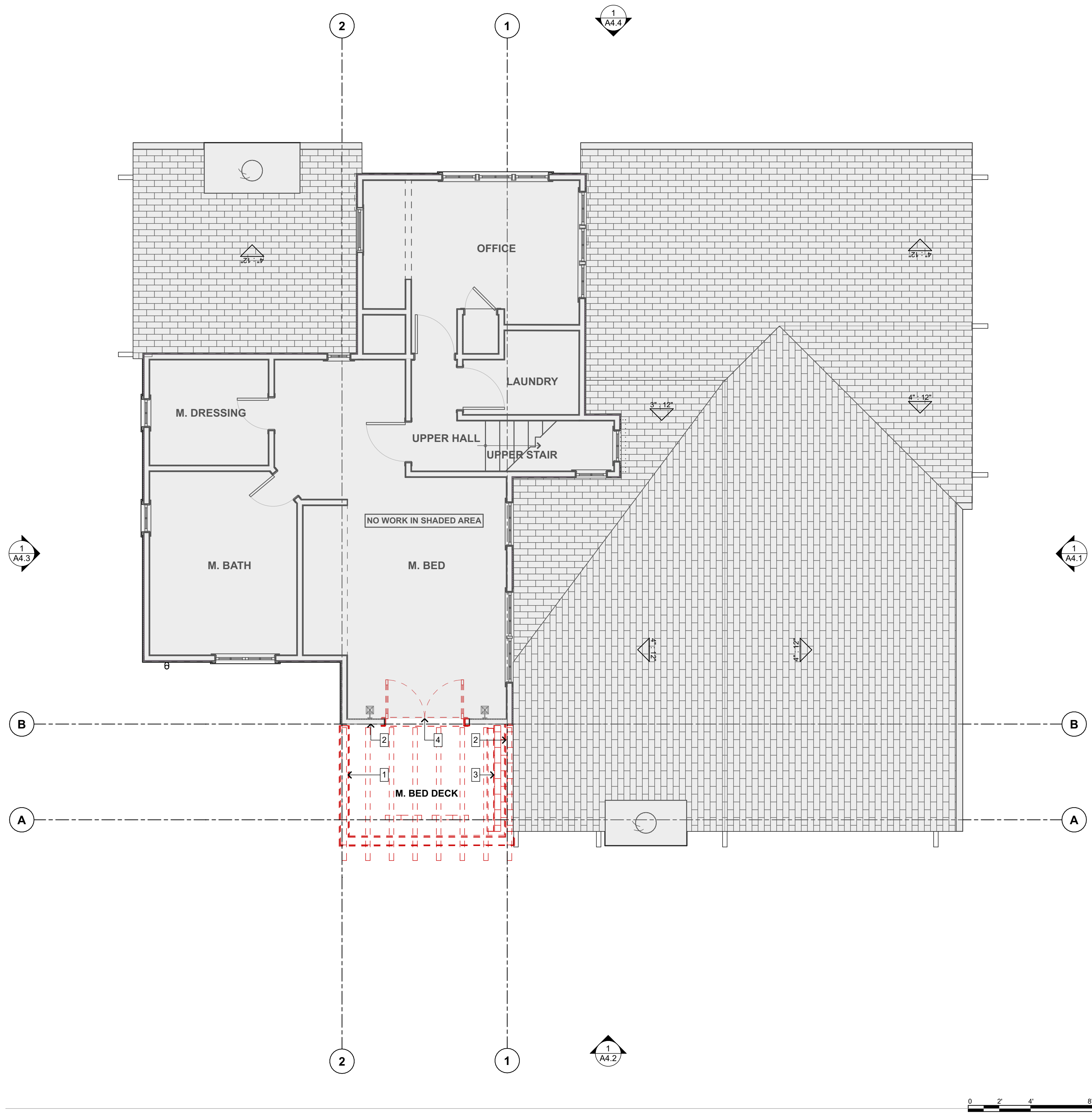
DEMO FLOOR PLAN GENERAL NOTES

- A. DISPOSE OF ALL DEBRIS PER GREEN REGULATIONS
- B. PROTECT ALL SURFACES NOT SCHEDULED FOR DEMOLITION

DEMO FLOOR PLAN REFERENCE NOTES

- 1. DEMO (E) WD. DECK & RAILING
- 2. DEMO EXT. SIDING & UNDERLAYMENT - FRAMING TO REMAIN.
- 3. DEMO ROOF OVERHANG - PREP FOR SIDE WALL FLASHING TO (N) WALL
- 4. REMOVE (E) DOOR - PREP FOR (N) CASSED OPENING
- 5. DEMO DECK COLUMNS
- 6. DEMO WALL

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DEMO FLOOR PLAN GENERAL NOTES

- A. DISPOSE OF ALL DEBRIS PER GREEN REGULATIONS
B. PROTECT ALL SURFACES NOT SCHEDULED FOR DEMOLITION

DEMO FLOOR PLAN REFERENCE NOTES

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2. DEMO EXT. SIDING & UNDERLAYMENT - FRAMING TO REMAIN
3. DEMO ROOF OVERHANG - PREP FOR SIDE WALL FLASHING TO (N) WALL
4. REMOVE (E) DOOR - PREP FOR (N) CASED OPENING
5. DEMO DECK COLUMNS
6. DEMO WALL



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141 CRESCENT ROAD
SAN ANSELMO CA
AP #007-232-57
Job #211002

Owners:
ANN RUPERS
141 CRESCENT ROAD
SAN ANSELMO CA 94960
415.999.8288
annierupers@me.com

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**DEMO FLOOR
PLAN - UPPER
FLOOR**

SCALE: 1/4" = 1'-0"

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A3.3



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SAN ANSELMO CA
AP #007-232-57
Job #211002

Owners:
ANN RUPERS
141 CRESCENT ROAD
SAN ANSELMO CA 94960
415.999.8288
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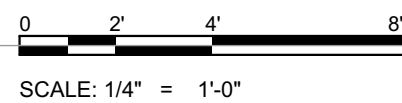
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DEMO ROOF PLAN

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A3.4



SCALE: 1/4" = 1'-0"

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SAN ANSELMO CA
AP #007-232-57
Job #211002

Owners:
ANN RUPERS
141 CRESCENT ROAD
SAN ANSELMO CA 94960
415.999.8288
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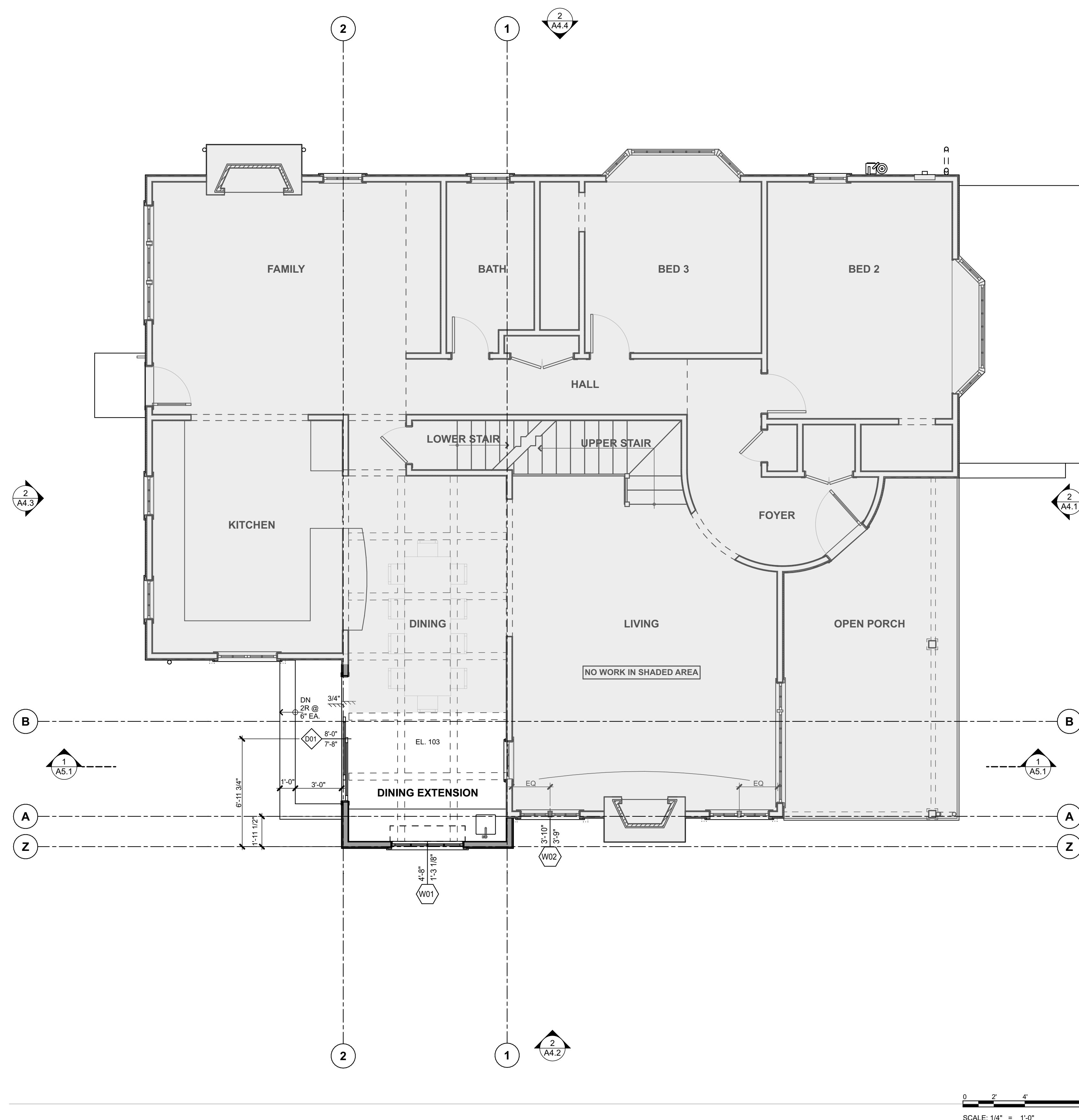
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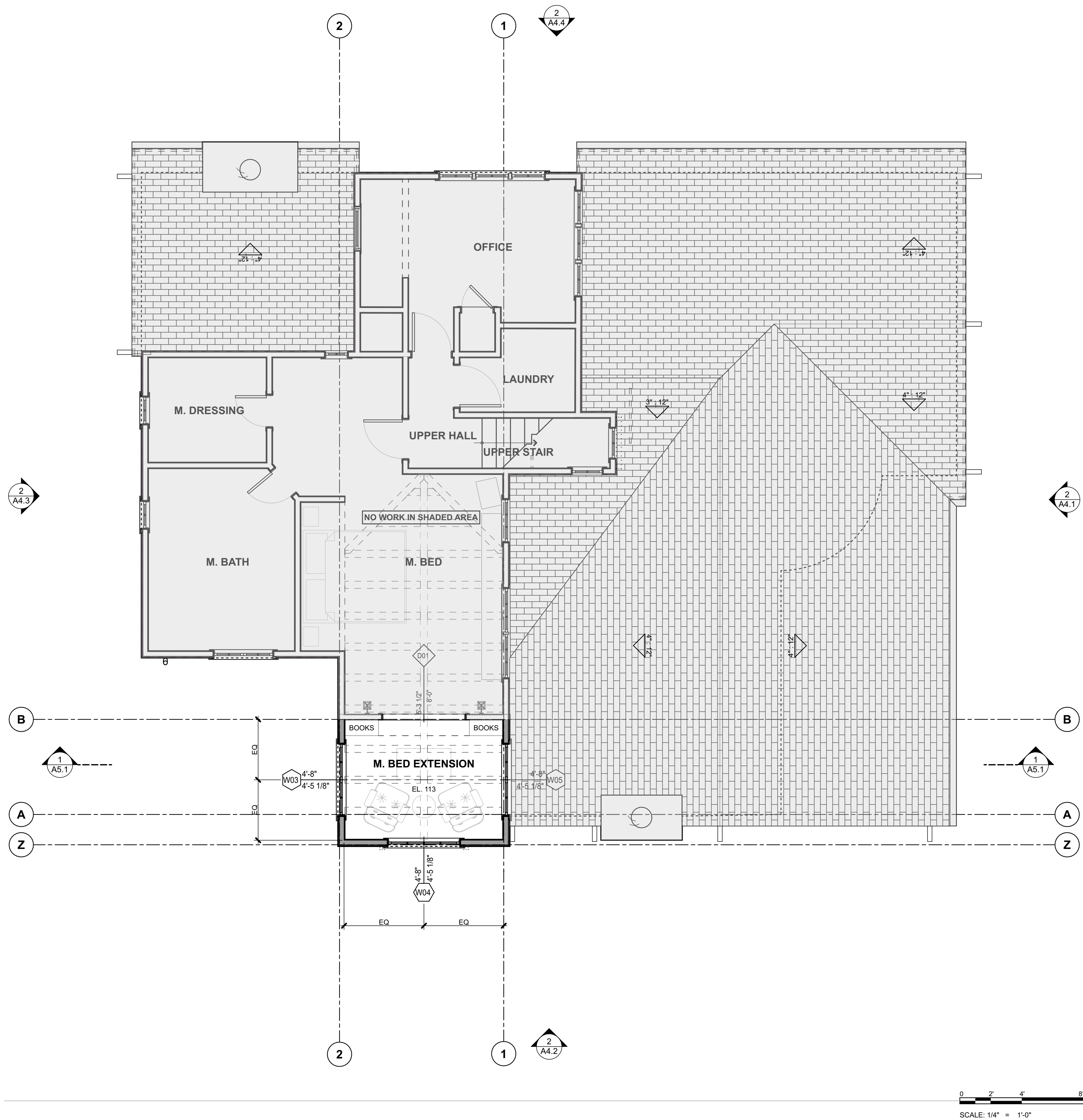
ENTRY FLOOR PLAN

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A3.5



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SAN ANSELMO CA
AP #007-232-57
Job #211002

Owners:
ANN RUPERS
141 CRESCENT ROAD
SAN ANSELMO CA 94960
415.999.8288
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UPPER FLOOR & LOWER ROOF PLAN

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A3.6



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141 CRESCENT ROAD
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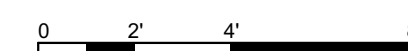
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UPPER ROOF PLAN

SCA ← 1" ACTUAL

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A3.7



ROOF PLAN GENERAL NOTES

- A. ALL ROOFING SHALL HAVE A CLASS "A" FIRE RATING.
- B. ADHERE TO ALL ROOFING MANUFACTURERS INSTALLATION REQUIREMENTS AND SPECIFICATIONS INCLUDING SURFACE PREPARATION, MATERIAL HANDLING, UNDERLAYMENT APPLICATION, FLASHING, AND HANDLING OF ROOF PENETRATIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS WITH DRAWINGS AND SPECIFICATIONS.
- C. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A WATER TIGHT ROOF.
- D. PROVIDE LEAF AND DEBRIS GUARDS ON ALL ROOF GUTTERS
- E. NO AT-AT VENTING - AT-AT ENVELOPE SHALL BE COMPLETELY ENCLOSED WITH SPRAY FOAM INSULATION. SEE BUILDING SECTIONS.
- F. ALL FLASHINGS TO BE PNT GSM
- G. PROVIDE CLEANOUTS IN ALL ROOF DOWNSPOUTS JUST BEFORE ENTERING HORIZ. UNDERGROUND DRAINAGE PIPING SYSTEM PER 2016 C110.13.1

ROOF PLAN REFERENCE NOTES

1. COMP. SHINGLE ROOFING TO MATCH (E) - SEE MFR. SPECIFICATIONS FOR UNDERLAYMENT--MIN. 15 LB. ROOFING FELT--& INSTALLATION REQUIREMENTS PROVIDE EDGE AND PENETRATION FLASHING PER MFR.
2. PNT. GSM OGEE GUTTER TO MATCH (E) -SEE BLDG. ELEVATIONS
3. DASHED LINE OF EXT. WALL BELOW - TYP.
4. RIDGE - RIDGE CAP ROOFING PER MFR. SPECS.



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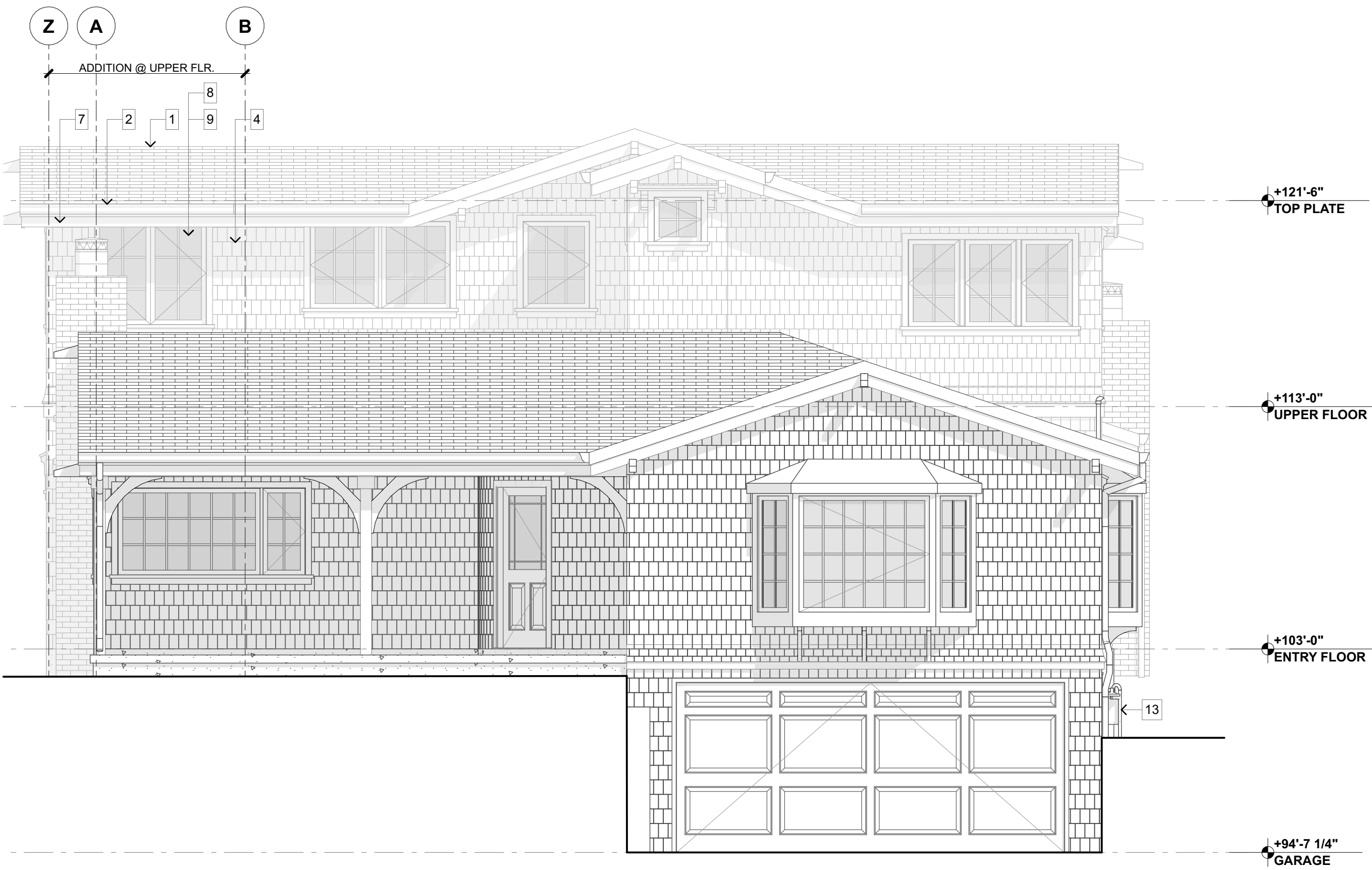
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**BUILDING
ELEVATIONS -
EAST**

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A4.1



2 (N) EAST ELEVATION
SCALE: 1/4" = 1'-0"



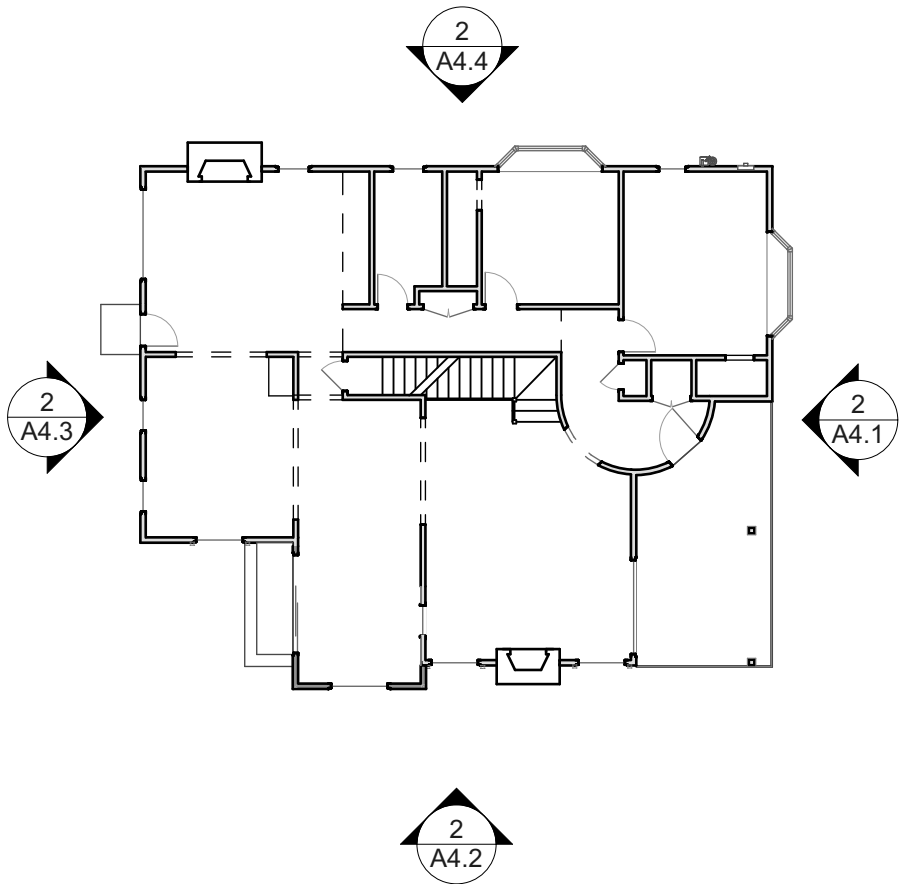
1 (E) EAST ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATIONS GENERAL NOTES

- A. ALL MATERIALS, COLORS, AND ARCHITECTURAL DETAILS TO MATCH (E)
B. PROTECT ALL (E) SURFACES TO REMAIN

ELEVATIONS REFERENCE NOTES

1. (N) CLASS "A" COMP. SHINGLE ROOFING TO MATCH (E) - ROOF SLOPE TO MATCH (E)
2. (N) PNT. GSM OGEE CUTTER TO MATCH (E)
3. (N) ROUND PNT. GSM RVL TO MATCH (E) - TIE INTO (E) SUBSURFACE DRAINAGE PIPING
4. (N) STAINED CEDAR SHINGLES TO MATCH (E)
5. (N) SHINGLE SKIRT AND BELLY BAND TO MATCH (E)
6. (N) PNT. WD. DOOR & WINDOW TRIM TO MATCH (E)
7. (N) PNT. WD. FASCIA, RAKE, GABLE TRIM TO MATCH (E)
8. (N) CLAD EXT. WD. WINDOWS WITH DIVIDED LITES TO MATCH (E)
9. EGRESS WINDOW
10. (N) CLAD EXT. WD. SLIDING DOOR WITH DIVIDED LITES TO MATCH (E)
11. (N) EXT. STEPS - STONE TREADS & RISERS
12. (E) MAIN ELEC. PANEL & METER
13. (E) GAS METER



ELEV. KEY PLAN - ENTRY FLOOR



JochumARCHITECTS
www.jochumarchitects.com
7 ANTON WAY
NOVATO CA 94945
415.761.9301
dave@jochumarchitects.com

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SAN ANSELMO CA
AP #007-232-57
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ANN RUPERS
141 CRESCENT ROAD
SAN ANSELMO CA 94960
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BUILDING
ELEVATIONS -
SOUTH

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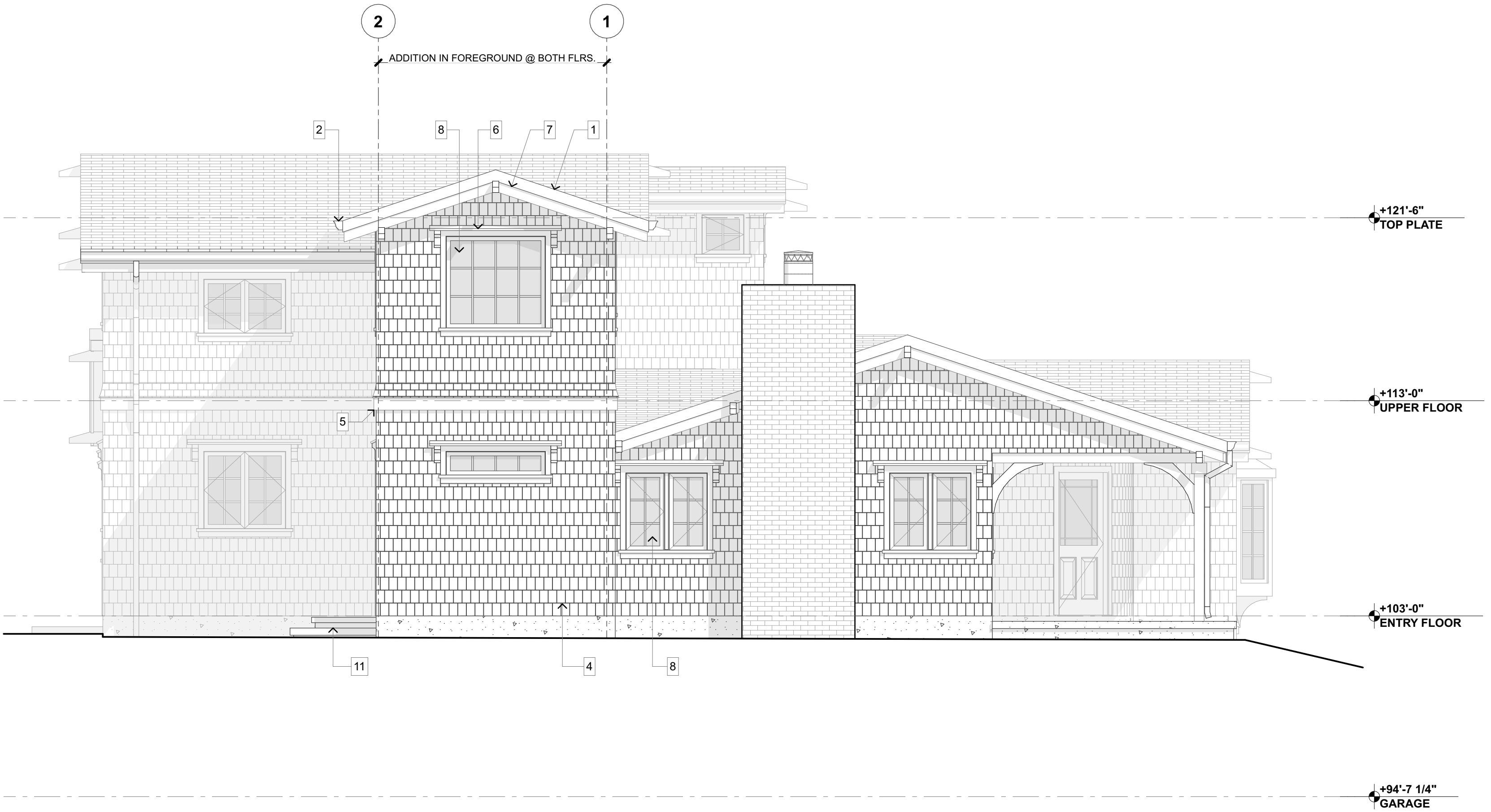
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ELEVATIONS GENERAL NOTES

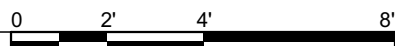
- A. ALL MATERIALS, COLORS, AND ARCHITECTURAL DETAILS TO MATCH (E)
B. PROTECT ALL (E) SURFACES TO REMAIN

ELEVATIONS REFERENCE NOTES

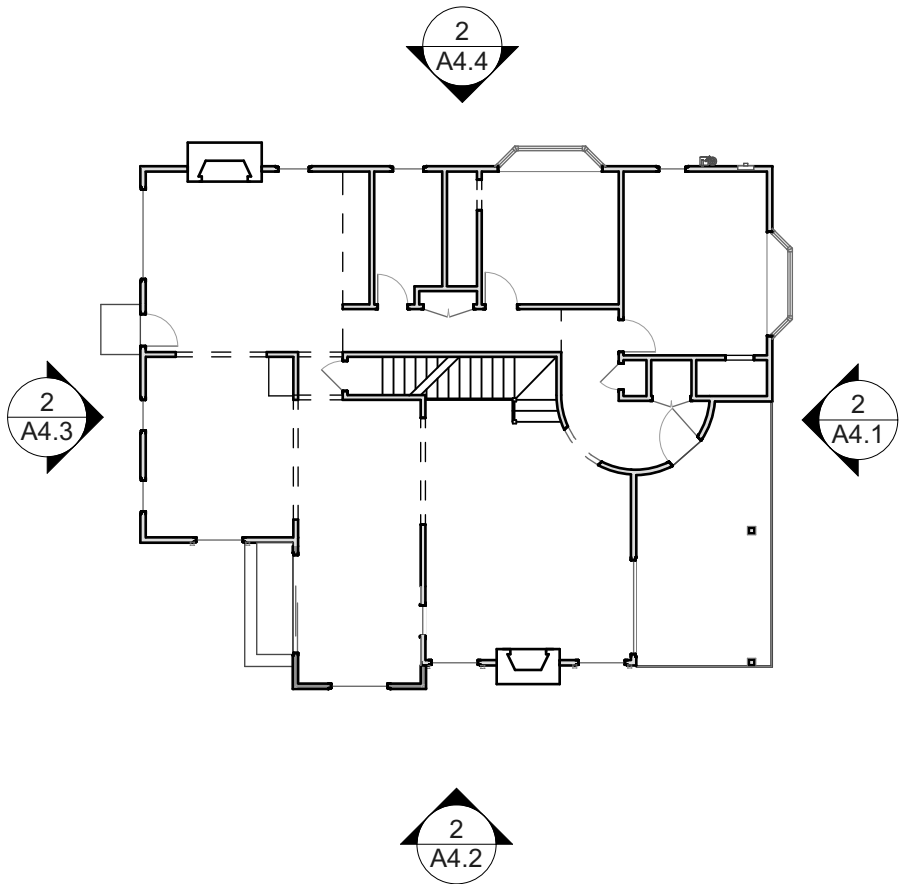
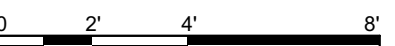
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- (N) PNT. GSM OGEE CUTTER TO MATCH (E)
- (N) ROUND PNT. GSM RVL TO MATCH (E) - TIE INTO (E) SUBSURFACE DRAINAGE PIPING
- (N) STAINED CEDAR SHINGLES TO MATCH (E)
- (N) SHINGLE SKIRT AND BELLY BAND TO MATCH (E)
- (N) PNT. WD. DOOR & WINDOW TRIM TO MATCH (E)
- (N) PNT. WD. FASCIA, RAKE, GABLE TRIM TO MATCH (E)
- (N) CLAD EXT. WD. WINDOWS WITH DIVIDED LITES TO MATCH (E)
- EGRESS WINDOW
- (N) CLAD EXT. WD. SLIDING DOOR WITH DIVIDED LITES TO MATCH (E)
- (N) EXT. STEPS - STONE TREADS & RISERS
- (E) MAIN ELEC. PANEL & METER
- (E) GAS METER



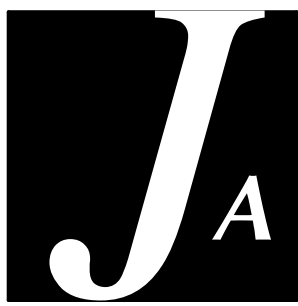
2 (N) SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 (E) SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



ELEV. KEY PLAN - ENTRY FLOOR



JochumARCHITECTS
www.jochumarchitects.com
7 ANTON WAY
NOVATO CA 94945
415.761.9301
dave@jochumarchitects.com

Rupers Residence
Renovations

141 CRESCENT ROAD
SAN ANSELMO CA
AP #007-232-57
Job #211002

Owners:
ANN RUPERS
141 CRESCENT ROAD
SAN ANSELMO CA 94960
415.999.8288
annierupers@me.com

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01.12.22 Design Review

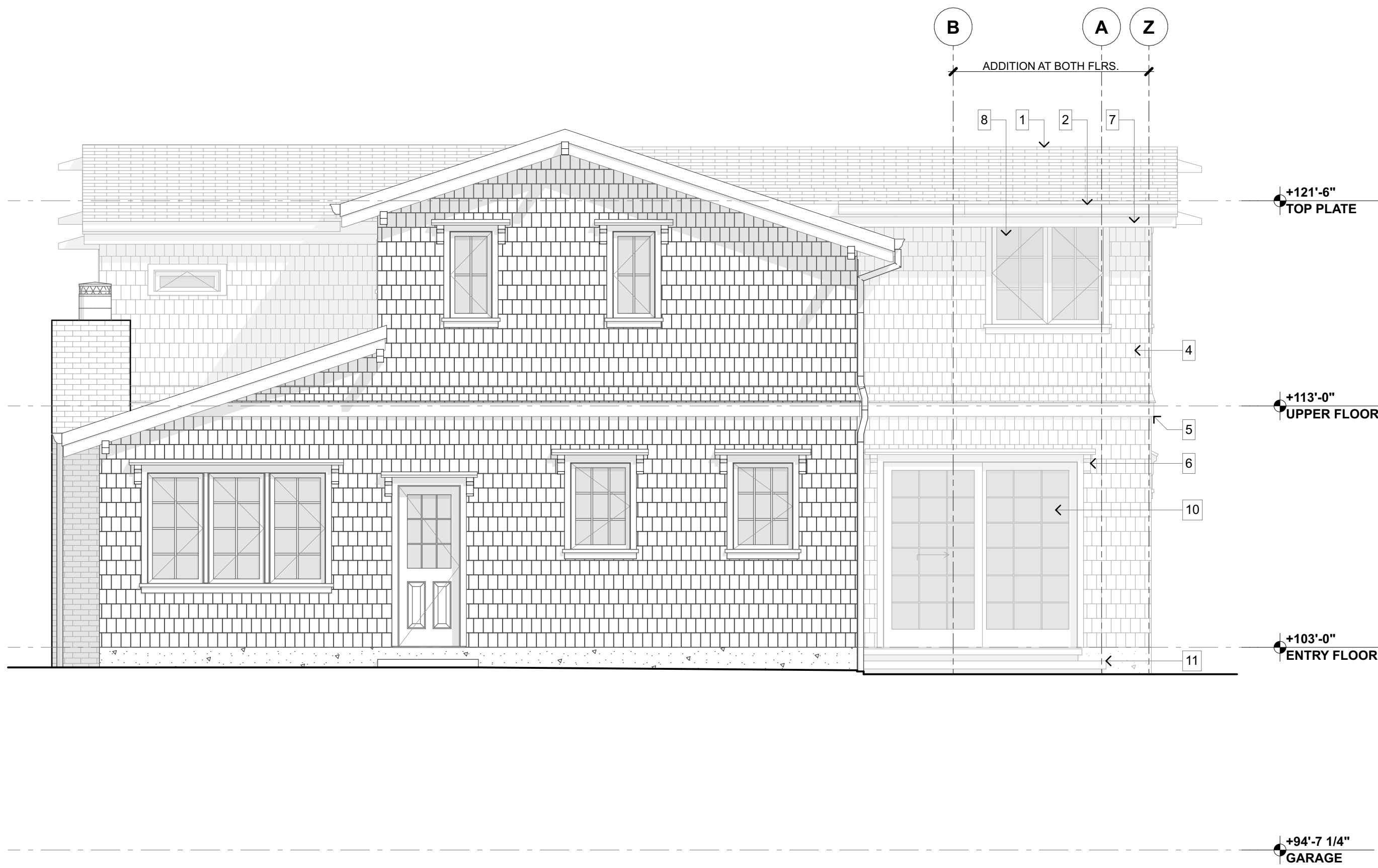
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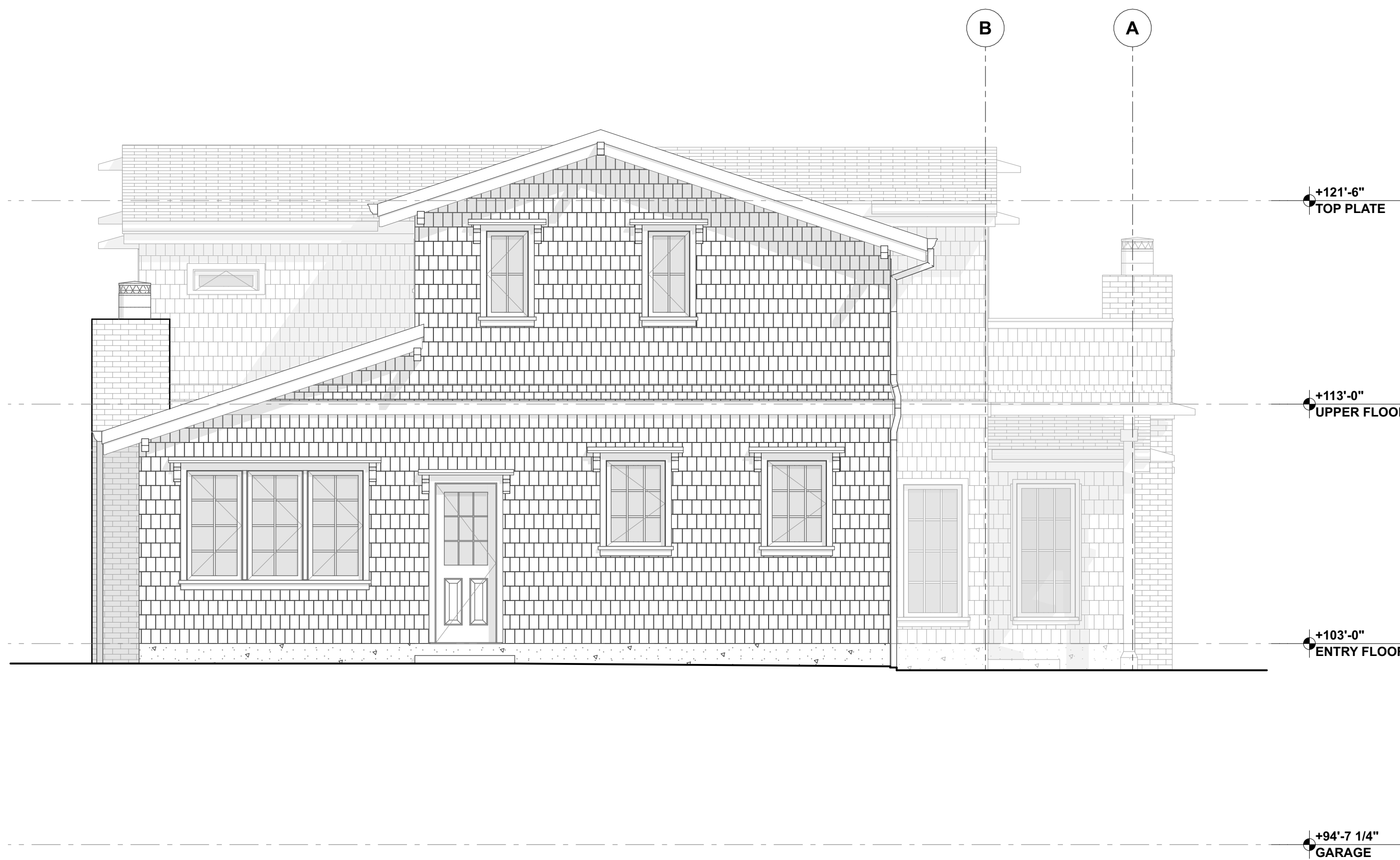
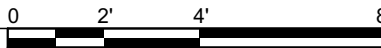
BUILDING
ELEVATIONS -
WEST

IF THE ABOVE DIMENSION DOES NOT MEASURE
EXACTLY ONE INCH, THEN THE SCALE OF THIS SHEET
HAS BEEN ALTERED FROM ITS ORIGINAL - REFER TO
GRAPHIC SCALES ONLY, NOT WRITTEN

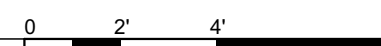
A4.3



2 (N) WEST ELEVATION
SCALE: 1/4" = 1'-0"



1 (E) WEST ELEVATION
SCALE: 1/4" = 1'-0"

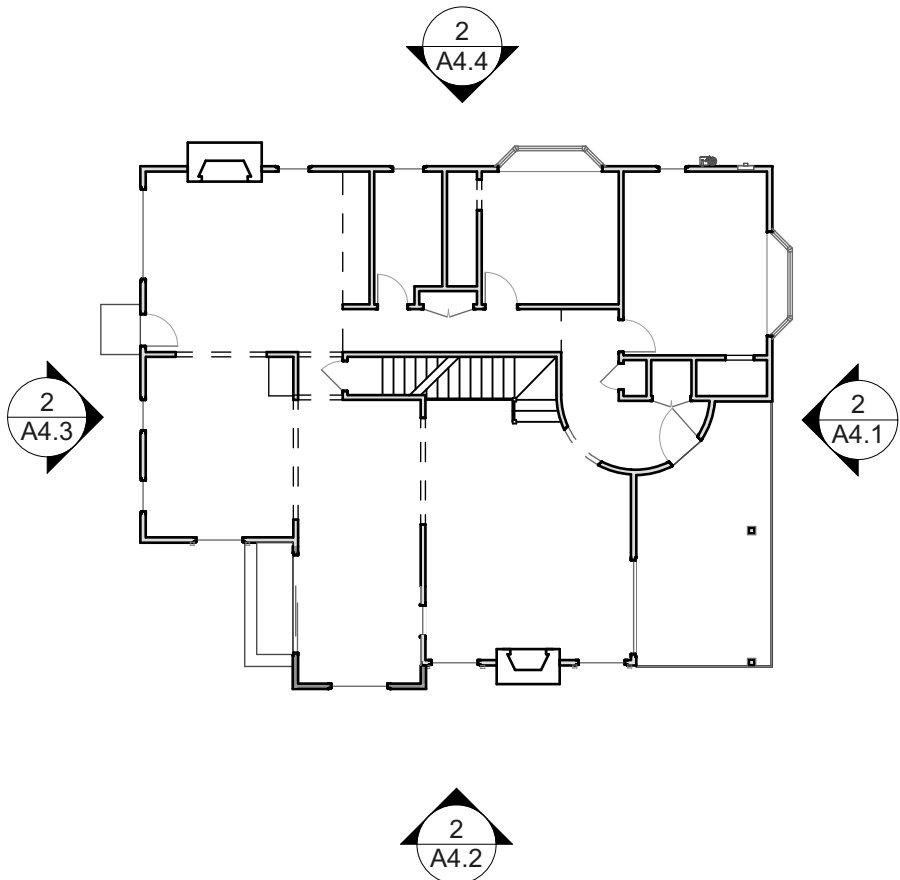


ELEVATIONS GENERAL NOTES

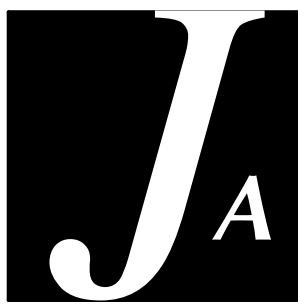
- A. ALL MATERIALS, COLORS, AND ARCHITECTURAL DETAILS TO MATCH (E)
- B. PROTECT ALL (E) SURFACES TO REMAIN

ELEVATIONS REFERENCE NOTES

- 1. (N) CLASS "A" COMP. SHINGLE ROOFING TO MATCH (E) - ROOF SLOPE TO MATCH (E)
- 2. (N) PNT. GSM OGEE CUTTER TO MATCH (E)
- 3. (N) ROUND PNT. GSM RVL TO MATCH (E) - TIE INTO (E) SUBSURFACE DRAINAGE PIPING
- 4. (N) STAINED CEDAR SHINGLES TO MATCH (E)
- 5. (N) SHINGLE SKIRT AND BELLY BAND TO MATCH (E)
- 6. (N) PNT. WD. DOOR & WINDOW TRIM TO MATCH (E)
- 7. (N) PNT. WD. FASCIA, RAKE, GABLE TRIM TO MATCH (E)
- 8. (N) CLAD EXT. WD. WINDOWS (WITH DIVIDED LITES TO MATCH (E)
- 9. EGRESS WINDOW
- 10. (N) CLAD EXT. WD. SLIDING DOOR WITH DIVIDED LITES TO MATCH (E)
- 11. (N) EXT. STEPS - STONE TREADS & RISERS
- 12. (E) MAIN ELEC. PANEL & METER
- 13. (E) GAS METER



ELEV. KEY PLAN - ENTRY FLOOR



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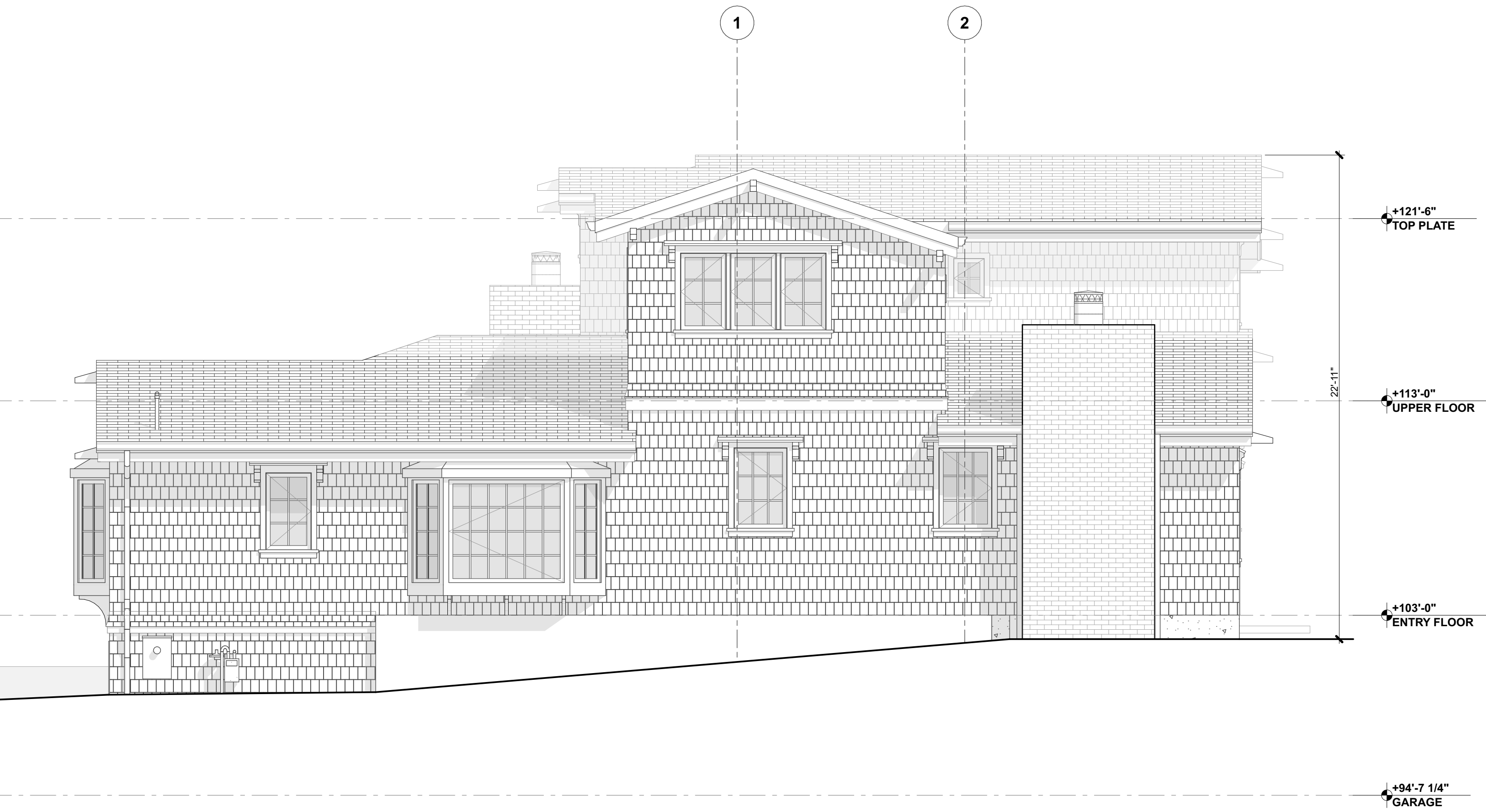
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BUILDING
ELEVATIONS -
NORTH

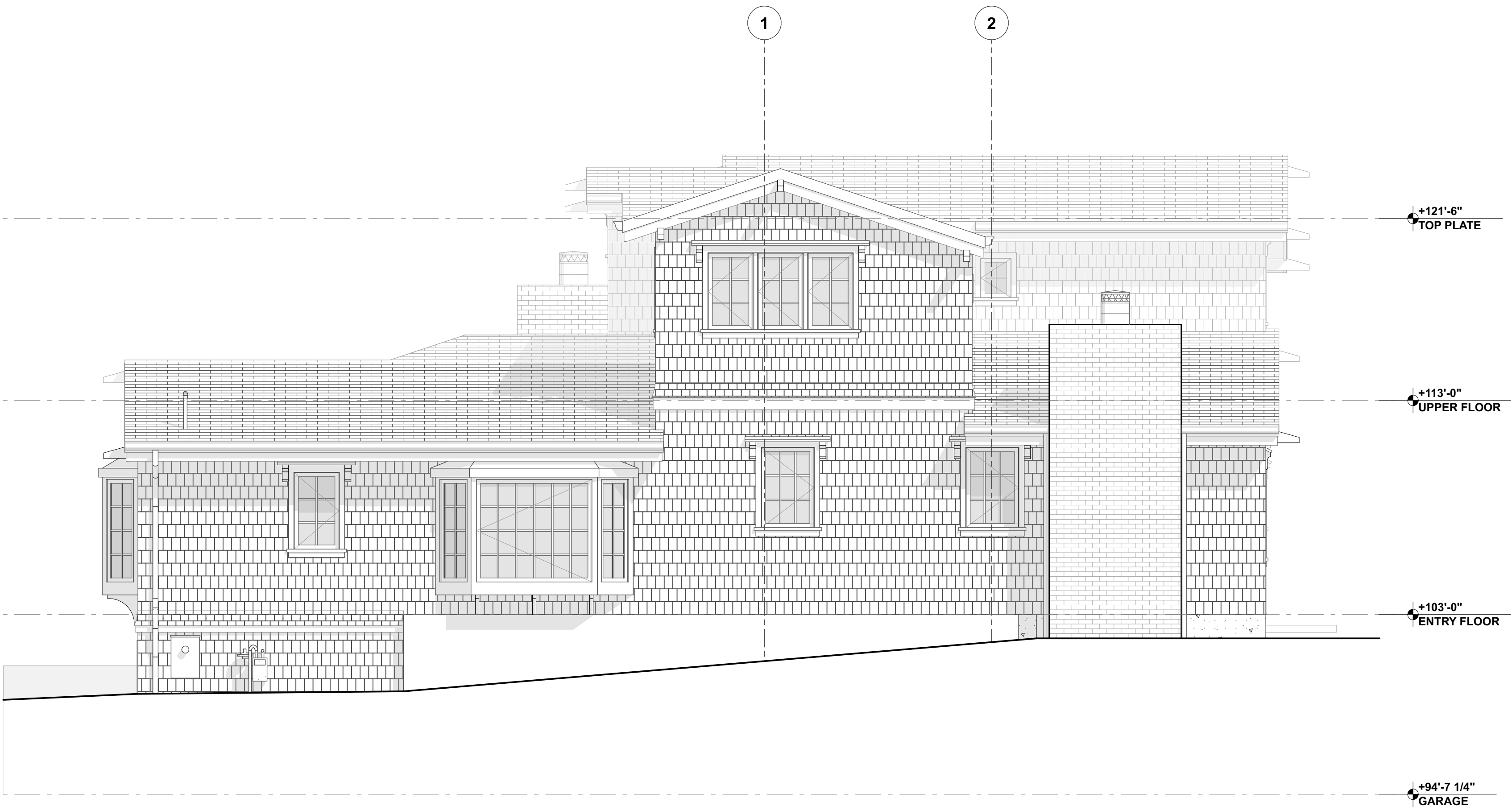
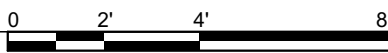
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A4.4



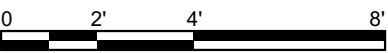
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SCALE: 1/4" = 1'-0"



1 (E) NORTH ELEVATION

SCALE: 1/4" = 1'-0"

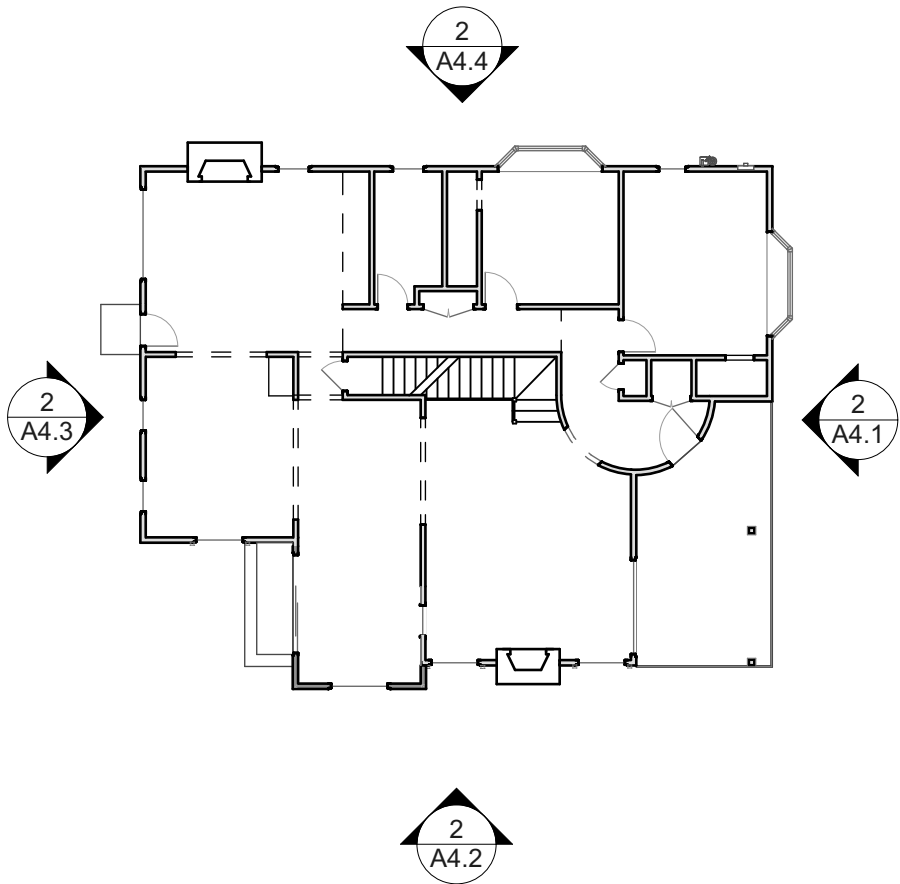


ELEVATIONS GENERAL NOTES

- A. ALL MATERIALS, COLORS, AND ARCHITECTURAL DETAILS TO MATCH (E)
- B. PROTECT ALL (E) SURFACES TO REMAIN

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ELEV. KEY PLAN - ENTRY FLOOR



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PERSPECTIVES

1"=1' ACTUAL

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A4.5



(E) VIEW FROM 10 IDALIA



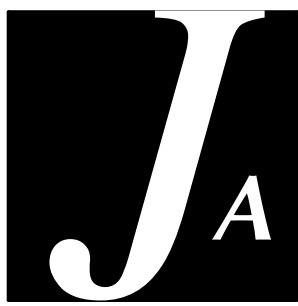
(N) VIEW FROM 10 IDALIA



(E) VIEW FROM SW ON IDALIA



(N) VIEW FROM SW ON IDALIA



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4 1 5 . 7 6 1 . 9 3 0 1
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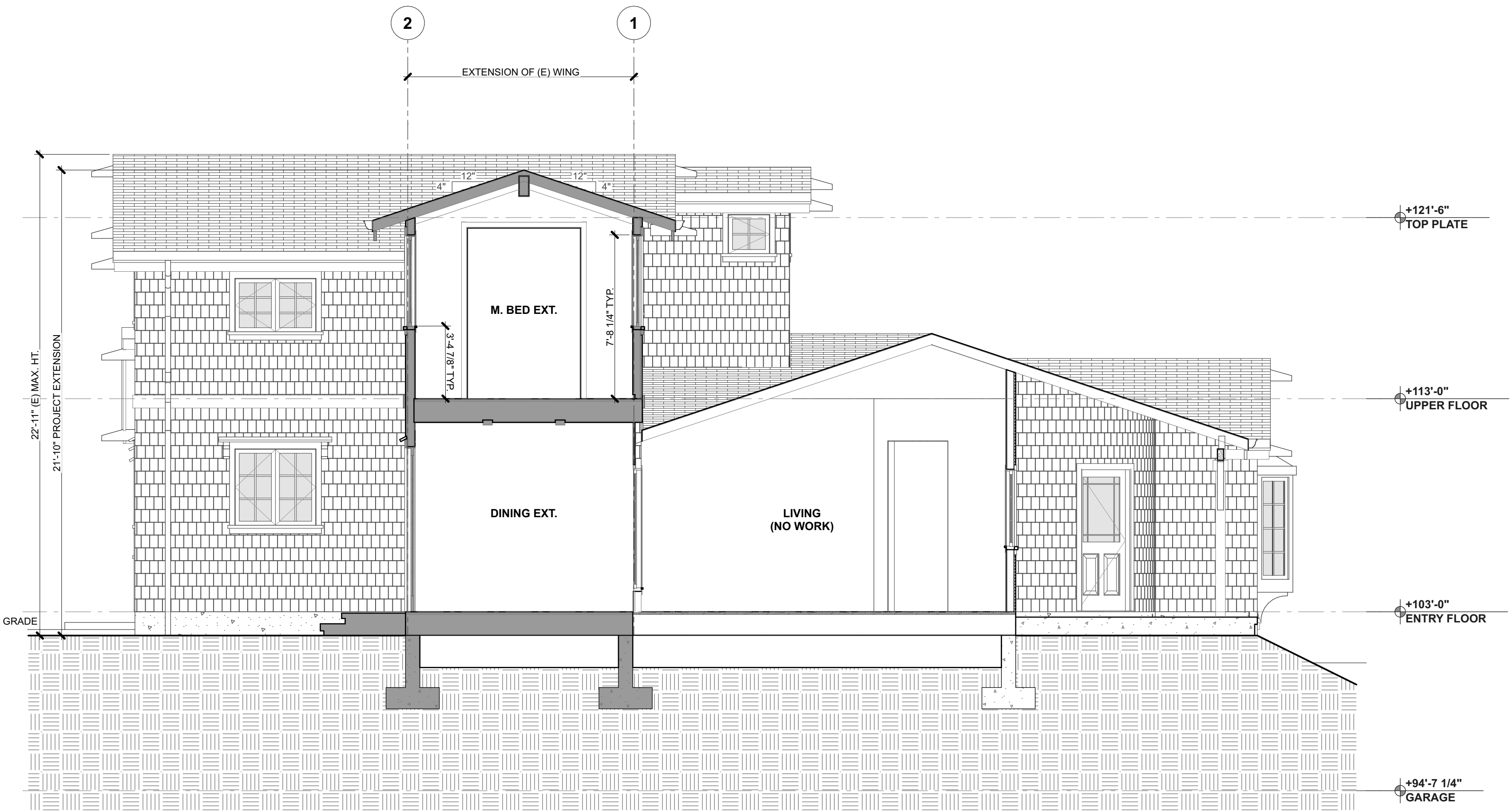
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**BUILDING
SECTIONS**

1" ACTUAL

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A5.1



1 SECTION @ ADDITION

SCALE: 1/4" = 1'-0"

SECTION KEY PLAN - ENTRY FLOOR

PROPERTY INFORMATION

APPLICANT NAME

PROPERTY ADDRESS

ASSESSOR PARCEL NUMBER(S)

FINDINGS FOR DESIGN REVIEW APPLICATIONS

Provide the Town with written facts to support the following conclusions the Planning Director or Planning Commission must make to approve the Design Review application. Please provide facts in support of each conclusion so they can make a logical connection between the facts and the conclusion.

Residential R-1, R-2, and R-3 (three (3) or fewer units) below 150 feet Mean Sea Level (flatland).

1. Is functionally and aesthetically compatible with the existing improvements and the natural elements in the surrounding area

2. Provides for protection against noise, odors, and other factors which may make the environment less desirable

3. Will not tend to cause the surrounding area to depreciate materially in appearance or value or otherwise discourage occupancy, investment, or orderly development in such area

4. Will not create unnecessary traffic hazards due to congestion, distraction of motorists, or other factors and provides for satisfactory access by emergency vehicles and personnel

5. Will not adversely affect the health or safety of persons using the improvement or endanger property located in the surrounding area

6. Is consistent with the Town General Plan

7. Will not unreasonably impair access to light and air of structures on neighboring properties

8. Will not unreasonably affect the privacy of neighboring properties including not unreasonably affecting such privacy by the placement of windows, skylights and decks

9. Will be of a bulk, mass and design that complements the existing character of the surrounding neighborhood

10. Will not materially affect adversely the health or safety of persons residing or working in the neighborhood of the property of the applicant and will not be materially detrimental to the public welfare or injurious to property or improvements in such neighborhood.

Attachment 3

Draft Findings and Conditions of Approval 141 Crescent

I. FINDINGS FOR APPROVAL

CEQA Determination

The project is categorically exempt from review under the California Environmental Quality Act since it falls under the types of projects which the California Secretary of the Resources Agency has determined do not usually have a significant effect on the environment as an addition to an existing residence (CEQA Guideline Section 15301). No exception set forth in Section 15300.2 of the CEQA Guidelines applies to the project including, but not limited to, Subsection (a), which relates to impacts on environmental resources (no creek, trees or other wildlife impacted); (b), which relates to cumulative impacts (existing structure, no other major projects approved in neighborhood); Subsection (c), which relates to unusual circumstances (typical residential construction); or Subsection (f), which relates to historical resources (improvements would not impact a historical structure, residence is not associated with historical events or persons, not architecturally significant, area not known for archaeological resources).

Design Review Findings

SAMC § 10-3.1506

The Planning Commission has considered the size, proportions, use, type, and quality of materials; architectural features and ornamentation; night lighting; color application; signs; site placement of all features; existing and proposed landscaping and topography; existing and proposed open spaces and paved areas; screening devices; and other matters and elements and finds the second story addition:

1. *Is functionally and aesthetically compatible with the existing improvements and the natural elements in the surrounding area;*

The volume and apparent mass of the structure, combined with articulation of massing and design elements results in a structure that avoids the negative attributes of aesthetic compatibility. The property will continue to function as a single-family dwelling like most of the surrounding properties. The remodeled house uses design elements that are common to the character of the neighborhood such as sloped roof shapes, and commonly used materials. Because there is no predominant architectural style in the project area, the proposed building design would be compatible with the mixed visual character of the area. The project documents show context information for size, bulk, materials and details in the area to establish the general compatibility of the proposed design with the surrounding area.

2. *Provides for protection against noise, odors, and other factors which may make the environment less desirable;*

The application does not propose to change the use of the property, and does not anticipate any increase in noise, odor and other undesirable effects resulting from its continued use as a single-family dwelling. Residential land uses are not associated with the creation of substantial objectionable odors. Potential noise resulting from the project include temporary construction noise, automobile movement and mechanical equipment and noise associated with residential use. The project is expected to emit residential noise like noise levels in the existing residential neighborhood.

3. *Will not tend to cause the surrounding area to depreciate materially in appearance or value or otherwise discourage occupancy, investment, or orderly development in such area;*

The existing house has not been updated in decades. The completed project will be highly desirable and will help to increase the value of the neighboring properties.

“Good Home Improvers Make Good Neighbors”, is a 2008 study by Kevin Park at the Joint Center for Housing Studies at Harvard University concludes: “This paper finds a modest but statistically significant effect of neighborhood home improvement activity on house value appreciation, even for individual households with comparable levels of improvement spending. Following theory, this “neighborhood effect” was strongest among those households which spend the least individually. Further, the higher spending neighborhoods had, on average, higher appreciation rates, even when looking at comparable levels of household home improvement spending, in 11 of the 18 metro-areas analyzed. Looking across all metros, the average magnitude of this difference amounted to an inflation-adjusted annual appreciation rate roughly 15 percent higher over the time period analyzed. For a typical house worth \$110,000 in 1996, this would yield an additional \$3,900 in value by 2004.”

4. *Will not create unnecessary traffic hazards due to congestion, distraction of motorists, or other factors and provides for satisfactory access by emergency vehicles and personnel;*

The completed house will remain a single-family house with the required off-street parking. It generates no new traffic and will not create any unnecessary traffic hazards, nor impede access by emergency vehicles and personnel.

During construction, the project will adhere to Town of San Anselmo's rules, regulations and guidelines regarding parking, traffic and work in the public right-of-way. A construction management plan which will include a traffic management plan will be submitted as part of the permit application.

5. *Will not adversely affect the health or safety of persons using the improvement or endanger property located in the surrounding area; and*

The occupants of the improved house will enjoy living in a well-designed, well-constructed house. No hazardous activities are associated with single family residential uses and building codes do not allow the use of hazardous materials in construction.

6. *Is consistent with the Town General Plan.*

The property is and will remain a single-family house in an R1 zoning district, thus is consistent with the Land Use for the site and the Land Use policies of the Town General Plan. The rehabilitation and addition will be consistent with Land Use Goal 1: "The small-town character, scale, and pace of life in San Anselmo shall be preserved, as shall the Town's close connection with the natural beauty of its setting." And Goal 3: "New developments shall be integrated harmoniously into San Anselmo's existing neighborhoods and commercial areas."

The project is consistent with Land Use Policy 3.2: "Single-family residential development is most appropriate within and adjacent to existing single-family areas, and in areas easily served with water and sewer lines. Such areas should also serve as transition zones between mixed density and very low-density areas."

The project is located within a mixed neighborhood of single-story and two-story homes. This illustrates that the project is consistent with Land Use Policy 11.1: "New development, including rehabilitation and expansion projects, shall be of a scale, intensity, and design that integrates with the existing character of the surrounding neighborhood." See staff report and project narrative for facts to support the proposed design.

7. *Will not unreasonably impair access to light and air of structures on neighboring properties*

The proposed second floor is 65-feet away from the nearest house. That house is 20-feet higher in elevation than 141 Crescent.

Given the distance and differential in elevation the proposed addition will not unreasonably impair access to light and air on neighboring properties.

8. *Will not unreasonably affect the privacy of neighboring properties including not unreasonably affecting such privacy by the placement of windows, skylights and decks;*

The proposed second floor is 65-feet away from the nearest house, with one small window facing neighboring properties. That house is 20-feet higher in elevation than 141 Crescent. The sightlines and privacy issues associated with the proposed project would be negligible given the difference in elevation and distance.

9. *Will be of a bulk, mass and design that complements the existing character of the surrounding neighborhood; and*

Building heights generally vary from one to two stories in the neighborhood. The project area is a mix of architectural styles with no particular design aesthetic that predominates. Because there is no predominant architectural style in the project area, the proposed building design would be compatible with the mixed visual character of the area.

The proposed project maintains the existing architectural style of the house keeping the same roof pitch

and shape of the existing residence on the second floor, while adding intersecting gables for a varied roof shape.

10. *Will not materially affect adversely the health or safety of persons residing or working in the neighborhood of the property of the applicant and will not be materially detrimental to the public welfare or injurious to property or improvements in such neighborhood.*

The proposed project has no impact on access to light and air for neighbors to the south, west or east, and only a minimal impact to the neighbor to the north. The completed project will be highly desirable and will help increase the value of the neighboring properties.

Required findings for Maximum Adjusted Floor Area Exception

1. *The dwelling and/or improvements were built prior to November 9, 2009.*

The dwelling was constructed in 1949, exceeding this finding.

2. *The site will not exceed an Adjusted Floor Area of five thousand (5,000) square feet.*

The proposed dwelling will have an Adjusted Floor Area of 3,005 square feet, 1995 square feet under the maximum.

3. *Employs mass-reducing techniques such that the additional square footage over the maximum Adjusted Floor Area is reasonably mitigated and does not result in overbuilding of the lot.*

The proposed addition includes mass reducing techniques to reasonably mitigate the mass and the effect that the addition will have on the surrounding neighborhood fabric.

II. CONDITIONS OF APPROVAL

Approve the addition to the existing residence subject to the following conditions:

1. Planning Commission approval for project is based on the project plans for 141 Crescent Road dated January 12th, 2022, approved by the Planning Commission on May 2, 2022, except as modified by the conditions of approval.
2. The Design Review approval is based upon retention of the existing residence. Demolition shall be limited to 25% of the exterior walls of the existing residence.
3. Approval is subject to the Standard Conditions of Approval.
4. Staff may require Planning Commission review for any modifications to the plan.

III. STANDARD CONDITIONS OF APPROVAL

1. All conditions of approval shall be included on the first sheet after the cover sheet of the construction drawings submitted for a building permit.
2. Except as otherwise noted in these conditions of approval, the plans submitted to the Building Department for plan check shall be identical to those approved by the Planning Commission or Planning Director. If any changes are made to the approved plans the applicant is responsible for clearly identifying all such changes and reviewing them with the Planning Department prior to submitting for a Building Permit or a revision to the Building and/or Grading Permit. All changes made to the Design Review Plans approved by the Planning Commission/Planning Director and the Building Permit construction document submittal must be clearly highlighted with a “bubble” or “cloud” on plans and marked with a “Delta ‘P’” at the time of initial Building Permit submittal. A list describing in detail all such changes shall be submitted and attached to the plans. Any changes that have not been clouded on the plans and noted in a transmittal memo and explicitly approved by staff are not approved. Construction, demolition or grading that does not conform to the Planning Commission/Planning Director approval is not valid and shall be subject to stop work orders and may require removal.
3. Site landscaping shall be generally consistent with any approved landscape plan. Plans for any irrigation of the site shall be incorporated into the landscape plan. All planting shown on the approved plan shall be installed prior to occupancy and project final, whichever occurs first, except during the Water Shortage Emergency when Marin Water may require landscaping irrigated with potable water to be deferred until after the termination of the Water Shortage Emergency. During the Water Shortage Emergency, rehabilitated landscapes shall only be watered on days approved by Marin Water. Upon the request of an applicant to receive a Temporary Certificate of Occupancy or defer landscaping due to the drought, and at the discretion of the Planning Director, landscape installation may be guaranteed by posting a cash bond equal to 100% of the cost and installation of any landscape improvements. As required by San Anselmo Municipal Code Section 10-3.604 “Landscape Maintenance,” all landscaping shall be maintained in a healthy condition in accordance with approved landscaping plans.
4. Acceptance of the construction drawings and specifications does not release the applicant and owner from correction of mistakes, errors, or omissions contained therein. If, during the course of construction, the public interest requires a modification or a departure from these accepted plans, the Town shall have the authority to require such modifications or departure and specify the manner in which the same is to be made.
5. The applicants and/or owners shall defend with counsel selected by the Town in its discretion, indemnify, and hold the Town harmless along with the Town Council and Town boards, commissions, agents, officers, employees, and consultants from any claim, action, or proceeding (“action”) against the Town, its boards, commissions, agents, officers, employees, and consultants attacking or seeking to set aside, declare void, or annul the approval(s) of the project or alleging any other liability or damages based upon, caused by, or related to the

approval of the project. The Town shall promptly notify the applicants and/or owners of any action. The Town, in its sole discretion, may tender the defense of the action to the applicants and/or owners or the Town may defend the action with attorneys of the Town's choice, with all attorneys' fees and litigation costs incurred by the Town in either case paid for by the applicant and/or owners.

Planning Department Standard Conditions of Approval:

6. This approval shall be final either 10 calendar days following the date of action by the Planning Director, Planning Commission, or Town Council, whichever is last. This approval is effective from the date of approval until the building permit is issued and shall expire one year after approval should a building permit not be issued. If building permits are issued during the effective life of the approval, the expiration date of the approval shall be automatically extended to concur with the expiration date of the building permit. The approval may be renewed once by the Planning Director for one year if the applicant submits a written statement to the Planning Director showing good cause prior to expiration of the application.
7. Prior to issuance of a building permit, the applicants shall reimburse the Town for any known unpaid costs associated with the project, including work done by consultants and the Town Attorney. Prior to project final the applicants shall reimburse the Town for any other unpaid costs associated with the project, including work done by consultants and the Town Attorney.
8. The light source for all exterior lighting fixtures shall be shielded from adjacent properties. Cut sheets for all exterior lighting shall be submitted as part of the building permit. Lighting shall be designed to focus the light onto only the areas necessary to be illuminated and minimize overflow of lighting off-site. Exterior lighting shall not include unnecessary illumination of building or site walls. Town staff will review compliance with this condition after installation of the lighting and reserves the right to require adjustment or elimination of lighting that violates this condition.

Department of Public Works Standard Conditions of Approval:

9. For all improvements within the public right of way, the applicant shall submit plans to adequately describe the work. Plans shall include but not be limited to drainage details, cross-sections, driveway/roadway grades and utility locations as necessary.
10. The project shall comply with the Town of San Anselmo Urban Runoff Pollution Prevention Ordinance. If the project paves or otherwise creates more than 150 square feet of impervious surface, a Flatwork Permit is required from the Public Works Department. In addition to the site design measures and Flatwork Permit required for small projects, new and redeveloped projects that create or replace more than 500 square feet of impervious surface may require bioretention or permanent stormwater controls designed to remove sediment and other pollutants and to mimic the pre-project site hydrology by controlling the flow rates and/or the volume of stormwater runoff from the project's added and/or replaced impervious

surfaces and a Stormwater Control Plan (SCP) (San Anselmo Municipal Code Section 5-8.11).

11. Appropriate Best Management Practices (BMPs) shall be implemented to prevent the discharge of construction wastes or contaminants from construction materials, tools, and equipment from entering storm drains or watercourses. Plans for adequate BMPs to be installed, implemented, and maintained during construction and after final stabilization shall be submitted with the building permit application. The combination of BMPs used, and their execution in the field, must be customized to each site using up-to-date standards and practices. The Town will provide references to current guidance manuals and BMP information on request. (San Anselmo Municipal Code Section 5-8.10)
12. The Director of Public Works may require dedication of street rights-of-way or improvements. No permit for the development of any parcel of land abutting a public street shall be issued until the Director certifies that frontage improvements in accordance with the current Town specifications in use by the Department of Public Works and at the location prescribed by the Town Engineer in accordance with the Streets and Highways Plan of the Town: 1.) have been installed at no cost to the Town; or 2.) will be installed as a part of the development and prior to occupancy; or 3.) that in lieu of the improvements the applicant has deposited the estimated cost of the improvements with the Town. (San Anselmo Municipal Code Section 7-10.101)
13. Any improvements, public or private, damaged during construction shall be replaced, by the applicant, in-kind or with new improvements. All cracked, broken, or uplifted sidewalk, driveway and/or curb and gutter fronting the property shall be replaced. Applicant shall coordinate with the Department of Public Works prior to the start of the project improvements to identify the extents and limits of replacement.
14. All construction materials, debris and equipment shall be stored on site. If that is not physically possible, an encroachment permit shall be obtained from the Department of Public Works prior to placing any construction materials, debris, debris boxes or unlicensed equipment in the right-of-way. A minimum of 12' passable auto traffic clearance (paved travel way) shall be maintained at all times along the roadway. The placing of portable restroom facilities in the Town right-of-way will not be permitted unless there is not an appropriate location on the subject property and Public Works approves placement in the right of way.
15. If a permeable paving system is to be used as a part of the site development strategy, the analysis shall include but not be limited to the following:
 - a. For drainage purposes, the underlying intent, either retention or detention, shall be fully quantified. If retention is to be used, a soils report, including percolation of the soils shall be submitted as a part of the plans. If detention is to be used, peak runoff quantities, storage capacity of the system, discharge rates, discharge points, impacts to existing facilities etc. shall be included. For small to medium projects, the Town and County prescriptive method outlined in the Homeowner's Guide to Stormwater Management may be used if approved by Public Works.

- b. The structural adequacy of the system that accommodates vehicle loading including emergency response vehicles (i.e. fire trucks) if the access to be designated for that purpose.
 - c. Provisions for ongoing maintenance of the pavers shall be included in the submittal package.
16. Drainage improvements shall implement Low Impact Development standards, including but not limited to:
- a. No increase in stormwater runoff as compared to existing conditions
 - b. Maintain natural drainage patterns
 - c. No concentration of flows, allowing drainage to flow naturally and to percolate and mimic existing and sheet flow conditions.
 - d. Rock rip-rap outfalls shall be located as far from property lines as possible and shall be designed to mimic existing drainage conditions (i.e. sheet flow, velocity dissipater, etc.)
 - e. All stormwater runoff lines (such as building downspout lines, landscape drain lines, etc.) must be discharged in a manner that conforms to the current stormwater discharge practices in Marin County and as outlined in the Town's Homeowner's Guide to Stormwater Management on the Town website.
17. A Construction Management Plan (CMP) shall be submitted to the Town as part of the Building Permit and/or Grading Permit and shall be incorporated into the plans. This plan shall be a binding document. Failure to adhere to the plan may result in a "Stop Work Notice" being placed on the project. An electronic copy of the APPROVED CMP shall be submitted to the Town and may be posted to the Town's website. This plan shall be updated as project conditions warrant. Updates to the plan shall be provided to the Town for review and approval. The CMP shall include but not be limited to:
- a. Work schedule (start of construction date, road or lane closure intent/dates, important milestones and proposed final dates).
 - b. A video of the right of way in front of and adjacent to the property and the haul route as required by Public Works before any work commences.
 - c. Construction Hours-Construction hours may be changed before or during construction as needed and determined by Public Works.
 - d. Construction Waste Management Plan
 - e. Staging/storage type and location
 - f. Travel routes and turn-around locations
 - g. Road and/or lane closures (Applicant to provide information on how many anticipated road closures, and the reasons for each road closure).
 - h. Worker auto parking space locations/construction parking
 - i. Phasing (if applicable)
 - j. If construction improvements are in areas of steep slopes, the Contractor shall provide safe temporary hard surface stair access to the improvements. This access shall be shown on the CMP.

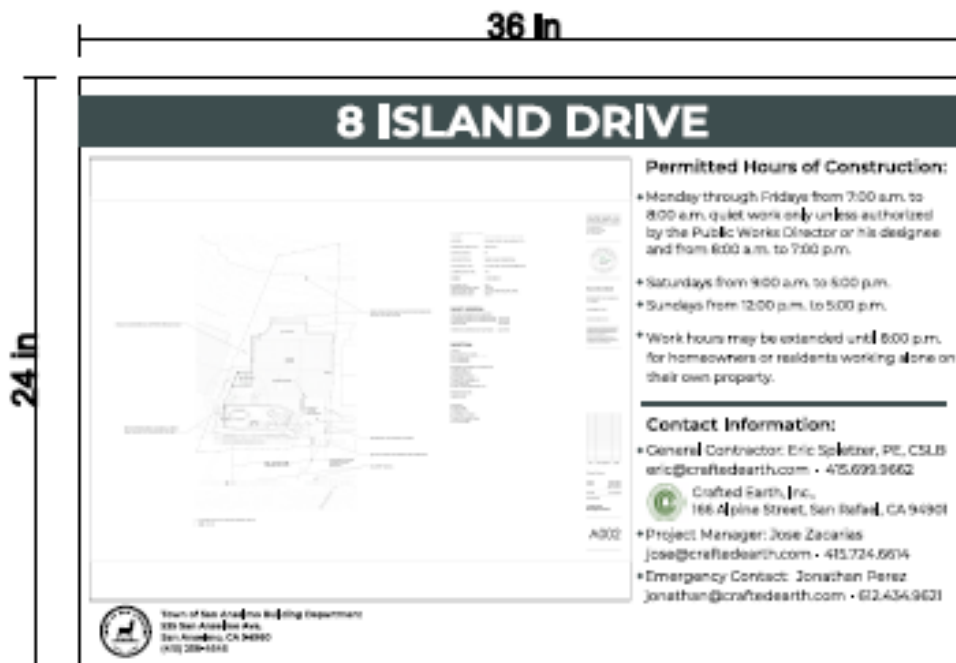
The CMP may be more stringent if the project is located close to schools or in impacted neighborhoods. A CMP may be required to be modified if a neighborhood becomes “impacted” during the construction. Impacted neighborhoods are defined as areas in geographic proximity (i.e. using the same streets for access) with a significant number of simultaneous construction projects.

Delivery times shall be determined at the time of Building Permit review and included on the Construction Management Plan sign.

Prior to issuance of a building permit, the applicant shall post a sign during construction in a location clearly readable from the public right of way, substantially in the same format at the image below. When approving the Construction Management Plan, the Department of Building or Public Works may require the plan to be incorporated on the sign.

The sign shall include the following information:

- a. Address of the project site.
- b. Permitted hours of construction and of deliveries/off-haul.
- c. Name, e-mail address and direct phone number of the General Contractor.
- d. Name, e-mail address and direct phone number of the person responsible for managing the project.
- e. Name and direct phone number of the party to call in case of an emergency.
- f. Town of San Anselmo Building Department contact information.



Building Department – Standard Conditions of Approval:

18. All construction shall comply with the California Building Code, Plumbing Code, Electrical Code, and Mechanical Code, and other applicable Title 24 Codes in effect at the time of building permit submittal.
19. It is the responsibility of the designer(s) to ensure that all of the above Title 24 codes, as well as any applicable San Anselmo Municipal Codes are incorporated into the design.
20. The hours of construction activity shall be limited to 7:00 a.m. to 7:00 p.m. Monday through Friday, 9:00 a.m. to 5:00 p.m. on Saturdays and 12:00 p.m. to 5:00 p.m. on Sundays. These hours may be changed as required by Public Works or Building.
21. A mechanical permit is required for any exterior mechanical equipment. Prior to the issuance of a mechanical or building permit for mechanical equipment, the applicant shall provide adequate information, reports and data to the Building Department demonstrating that the noise level from any exterior mechanical equipment or exterior vents, when measured at the property line boundary, complies with Town Noise Ordinance decibel limits.
22. All portions of the job site shall be maintained in an organized and professional condition. All trash, debris, construction scraps and broken/deteriorated machinery shall be removed from the site by the end of each week. If off loaded construction materials are not used within 2 weeks, they shall be screened from public view. All sidewalks, driveways and public/private roadways fronting the subject site shall be broom cleaned at the end of each business day.
23. **A Pre-Construction Meeting is required.** Unless waived by the Building Official, prior to initiation of any work on the proposed project, the applicant shall arrange a pre-construction meeting that shall be attended by Town of San Anselmo staff, the owner, general contractor, and sub-contractors responsible for demolition, foundation and excavations, framing, roofing and major deliveries to review these conditions of approval, permitted hours of operation, etc. Staff may require additional subcontractors depending on project scope. The general contractor is responsible for ensuring that all contractors adhere to the Construction Management Plan and all Conditions of Project Approval and Conditions of all permits (Building, Grading, Encroachment, etc.).
24. All required construction signage and any required tree-protection shall be posted and available for Town inspection at the time of the Pre-construction meeting. If these measures are not in place at the time of the pre-construction meeting, a re-inspection fee will be required and issuance of building permit will be delayed.
25. Any project within a Special Flood Hazard Area shall comply with the standards of construction and standards for utilities in San Anselmo Municipal Code Title 7, Chapter 11.
26. All electrical and communication service laterals, including those for cable television service, to any new building or structure or building or structure undergoing a substantial

improvement as defined by California Building Code Chapter 2 shall be placed underground from the main service equipment within the building or structure to a location designated by the supplying utility in accordance with the supplying utility's applicable rules, regulations and tariffs on file with the Public Utilities Commission of the State or other competent jurisdiction. The Building Official may grant an exception to this condition when it is found that the undergrounding of the utility service laterals will cause an unnecessary hardship or results inconsistent with the intent of San Anselmo Municipal Code Title 9, Chapter 4. (SAMC Sec. 9-4.01-9.4.03)

27. Every building shall be numbered by placing the appropriate number on or adjacent to the main entrance to the building so as to be readily seen from the street. Address numbers must be Arabic numerals or alphabetical letters with a minimum stroke width of one-half inch. Numbers on residential buildings shall be self-illuminated, internally-illuminated or placed adjacent to a light which is controlled by a photocell and switched only by a breaker so it will remain illuminated all night. Building numbers shall be a color that clearly contrasts with the color of the background upon which they are placed. Residential building numbers shall be not less than four inches in height and non-residential /commercial building numbers shall be not less than six inches in height. All numbers shall be of proportionate width to the height, shall be made of permanent material, and shall be placed in a manner as to not be easily defaced or removed. (San Anselmo Municipal Code Sections 9-5.03 and 9-5.06).
28. Building plans shall include a green building program description and completed checklist that demonstrate the project shall comply with the applicable Green Building Standards adopted by the Town Council including the green building rating system(s); minimum compliance thresholds; and methods for verification of compliance with the adopted standards. The checklist shall be incorporated onto a separate full-sized plan sheet included with the building plans. A qualified green building rater, if required, shall provide evidence that the project, as indicated by the project plans and green building program description, will achieve the applicable Green Building Standards prior to issuance of a building permit. The green building rating system in effect at the time of building permit submittal shall be that which is applicable to the development project throughout the project construction. During the construction process, alternate green building measures may be substituted, provided that the qualified green building rater or applicable individual provides documentation of the proposed change and the project's continued ability to achieve the Green Building Standards to the Chief Building Official. Prior to final building inspection and occupancy, a qualified green building rater, if required, shall provide evidence that project construction has achieved the required compliance. Where certification through GreenPoint Rated or Leadership in Energy and Environmental Design (LEED) is required and such certification is only available subsequent to occupancy of the completed building, the applicant shall provide documentation of such certification within one (1) year of the date of the final building inspection for the project. (San Anselmo Municipal Code Section 9-19.040)
29. The applicant shall submit a Construction and Demolition Diversion Report to the Building Department prior to final inspection of the project and granting of occupancy. Prior to

obtaining any final inspection and grant of occupancy from the Building Department, the person who has obtained a building permit shall pay an Avoided Disposal Regulatory Fee if the Building Official determines that the applicant has not satisfied the diversion requirements. (San Anselmo Municipal Code Section 9-20.02)

30. All permits and/or inspection fees required shall be paid in full prior to final occupancy being granted.

Fire Dept. Standard Conditions of Approval:

31. The project shall comply with the Ross Valley Fire Department Plan Review memorandum for the project. The memo details items required for compliance and required inspections.
32. Final occupancy approval shall not be granted by the Fire Department unless all conditions have been met.
33. Fire Department and Town personnel shall be granted access to private driveways and private roadways in order to enforce applicable ordinances related to fire codes, municipal and penal codes pertaining to maintaining road access for emergency vehicles.

Ross Valley Sanitary District – Standard Conditions of Approval:

34. The project shall comply with all requirements of the Ross Valley Sanitary District prior to project final. Any private sewer lateral may be required to be tested, repaired or replaced prior to project final. Evidence of compliance shall be submitted to the Building Department prior to project final.

Marin Water – Standard Conditions of Approval:

35. The applicant shall comply with all requirements of the Marin Municipal Water District (MMWD) for water service prior to project final including compliance with all indoor and outdoor requirements of MMWD District Code Title 13 – Water Conservation.
36. All landscape and irrigation plans must be designed in accordance with the most current Marin Municipal Water District (MMWD) landscape requirements. New construction and rehabilitated (renovations or changes made to sites with an existing irrigation system) landscape projects will be affected by these requirements if the altered landscape area is greater than 500 square feet. The Code requires a landscape plan, an irrigation plan, and a grading plan. Evidence of compliance (compliance letter or exemption) shall be submitted to the Building Department as part of the building permit review process. Any question regarding the MMWD's current water conservation and landscape Ordinance should be directed to (415) 945-1497 or plancheck@marinwater.org.
37. Indoor plumbing fixtures must meet specific efficiency requirements.

38. Installation of a gray water recycling system is required for all projects that require installation of new water service and existing structures undergoing “substantial remodel” that necessitates an enlarged water service in compliance with MMWD Ordinance No. 429.
39. Backflow protection may be required as a condition of water service.
40. Prior to project final inspection, the applicant shall provide evidence to the Town Building Department that the project has received final approval (or is exempt from review) from the following three MMWD departments: Water Efficient Landscaping, Engineering, and Backflow Prevention.
41. NEW FOR DROUGHT: During the Water Shortage Emergency the project shall comply with Marin Water restrictions, which may include a requirement that applicant submit a written acknowledgement to Marin Wter that no new landscaping that will be irrigated with potable water will be installed in connection with the proposed project until after the termination of the Water Shortage Emergency. Existing and rehabilitated landscapes shall only be watered on limited irrigation watering days.

END OF STANDARD CONDITIONS OF APPROVAL