



28 WOODLAND AVE.

24 WOODLAND AVE

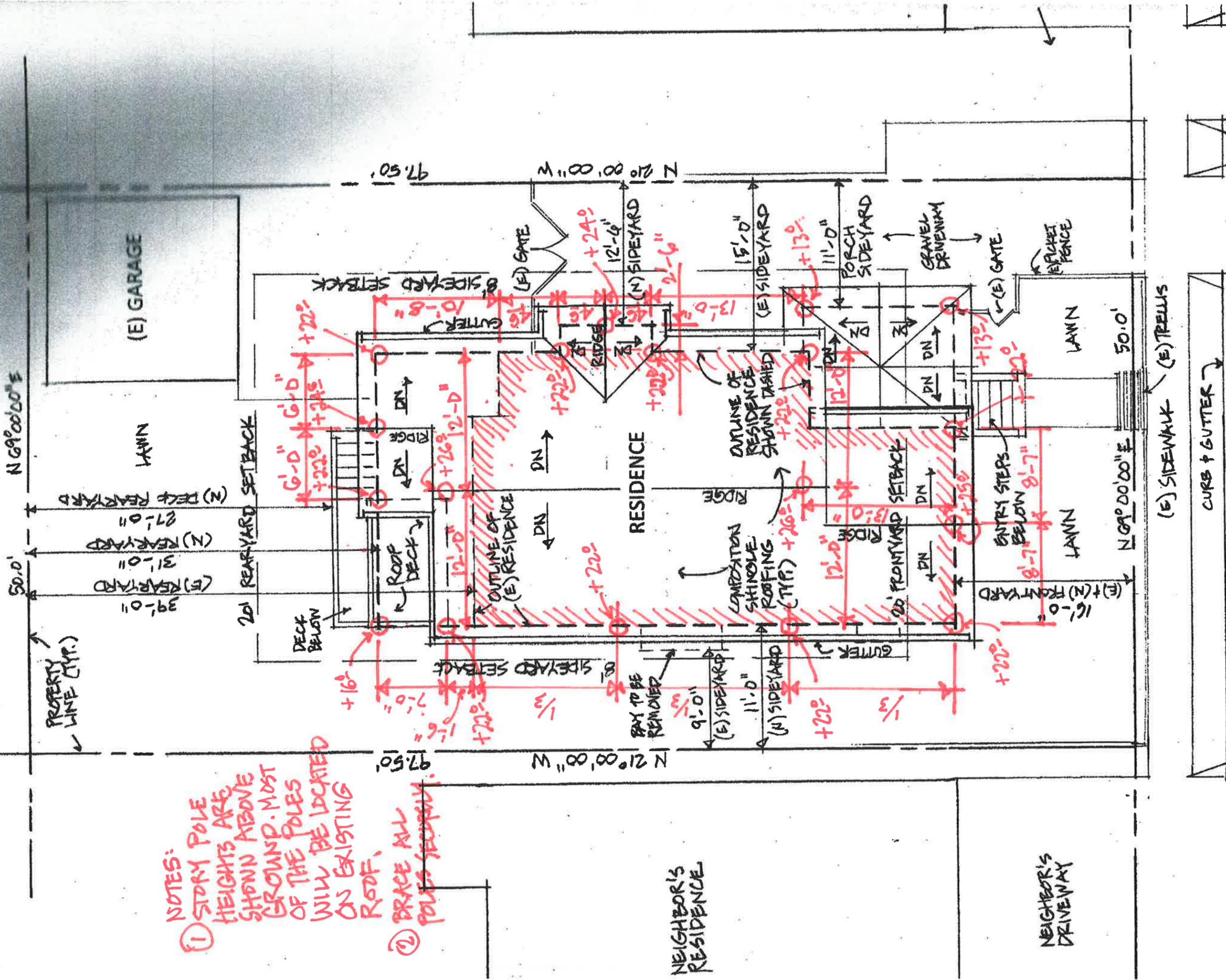
20 WOODLAND AVE.

WOODLAND AVE. ELEVATION

1/8" = 1'-0"

ADDITION/REMODEL FOR:
THE GREEN/BALL FAMILY
24 WOODLAND AVE.
SAN ANSELMO, CA

JEFF KRODT ARCHITECT
(415) 456-5531 10/21



- NOTES:
- ① STORY POLE HEIGHTS ARE SHOWN ABOVE GROUND. MOST OF THE POLES WILL BE LOCATED ON EXISTING ROOF.
 - ② BRACE ALL POLES SECURELY.

NEIGHBOR'S RESIDENCE

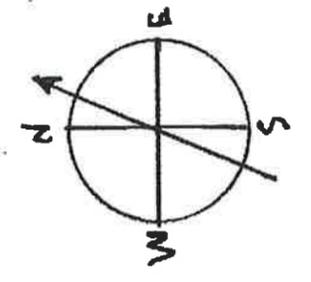
NEIGHBOR'S DRIVEWAY

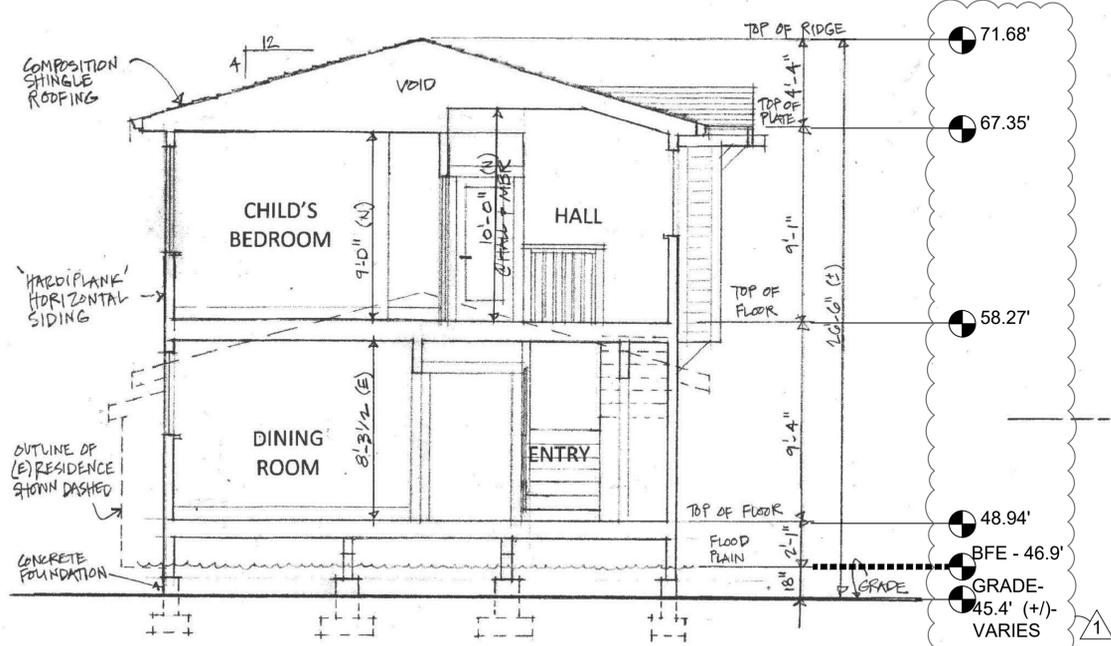
STORY POLE PLAN FOR:
 GREEN/BALL FAMILY
 24 WOODLAND AVE.
 SAN ANSELMO, CA

JEFF KROOT ARCHITECT
 (415) 450-5531
 OCT. 5, 2021

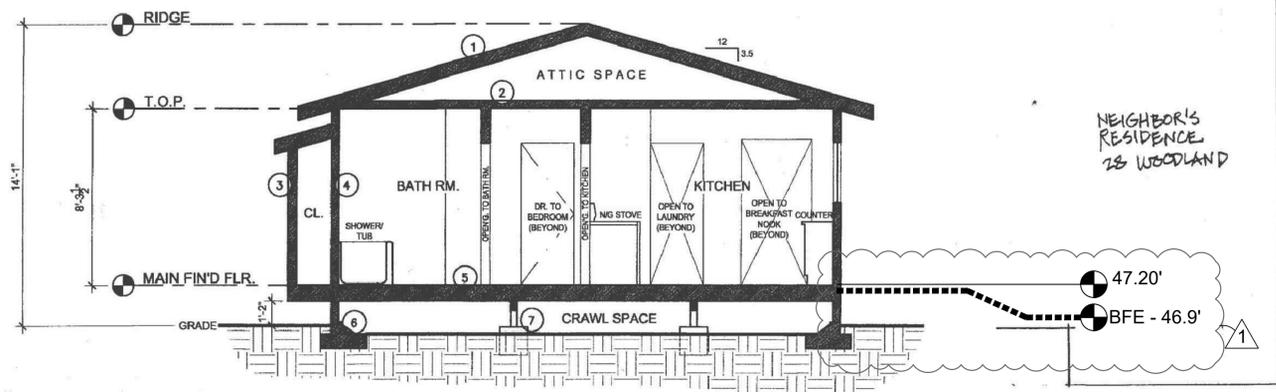
WOODLAND AVE.

STORY POLE
 SITE PLAN
 1/8" = 1'-0"

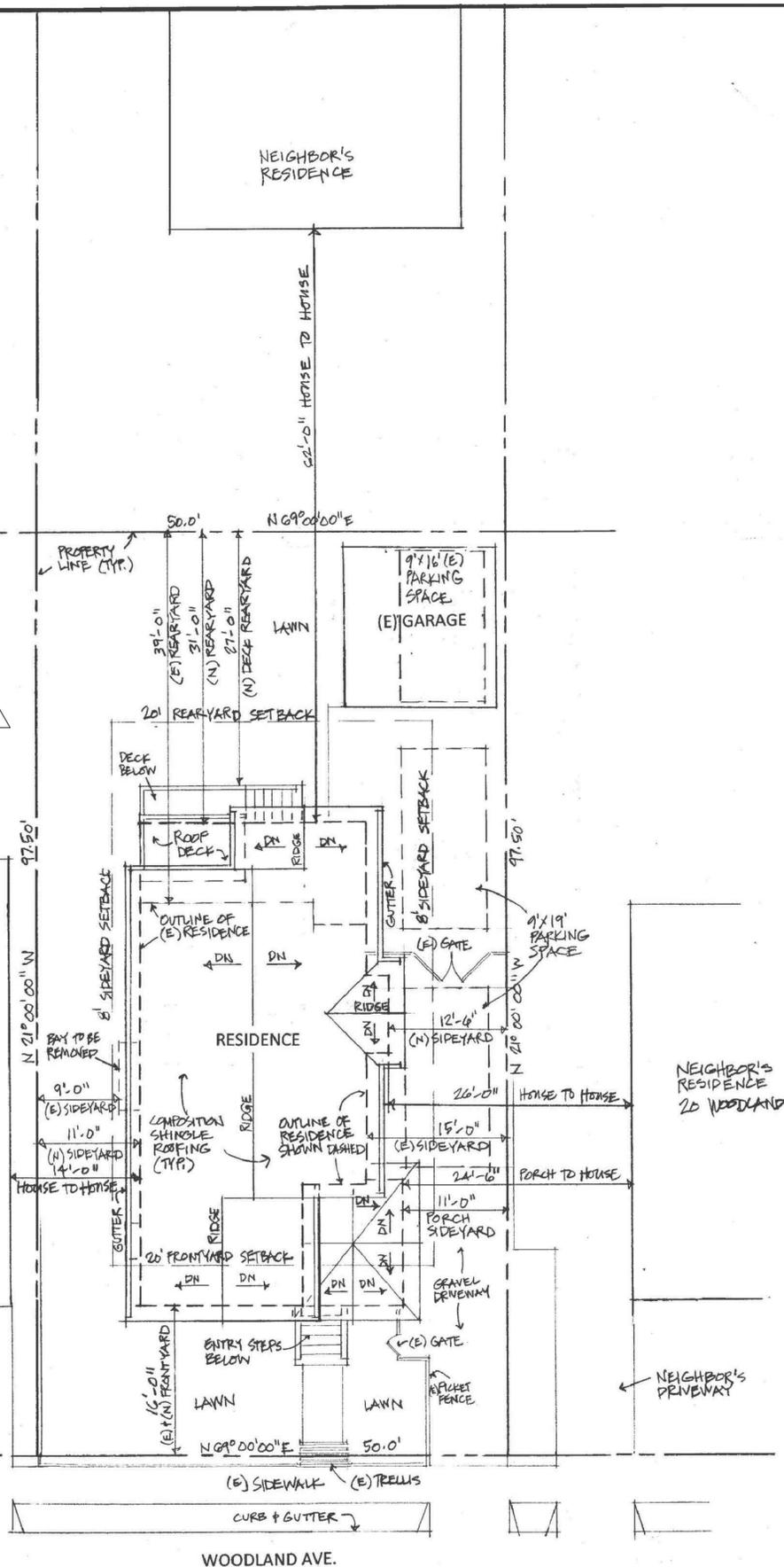




PROPOSED CROSS SECTION
1/4" = 1'-0"



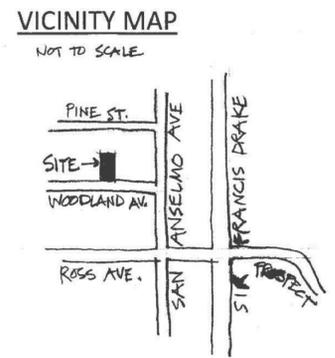
(E) CROSS SECTION
1/4" = 1'-0"



SITE PLAN
1/8" = 1'-0"

SITE INFORMATION

LOT AREA	4,875 sf
APN	007-252-21
ZONING	R-2
(E) LOWER FLOOR AREA	961sf
(E) PORCH	164sf
(E) GARAGE	256sf
(E) LOT COVERAGE	28.3 %
(N) LOWER FLOOR AREA	1,135sf
(N) UPPER FLOOR AREA	1093sf
(N) TOTAL FLOOR AREA	2,228sf
(N) BACK DECK	52sf
(N) ROOF DECK	77sf
(N) LOT COVERAGE	33.0%



- SHEET INDEX:**
1. SITE PLAN, SITE INFORMATION, SECTIONS
 2. FLOOR PLANS
 3. EXTERIOR ELEVATIONS
 4. EXTERIOR ELEVATIONS
 5. SHADE STUDY, STREET ELEVATION
 6. DEMOLITION DIAGRAM
 - AB-1. AS-BUILT SITE DATA
 - AB-2. AS-BUILT FLOOR PLAN
 - AB-3. AS-BUILT ELEVATIONS
 - AB-4. AS-BUILT SECTIONS

REVISIONS	BY
1	JK
2	DMS

DATE: AUG 11/2021

Scale: 1/8" = 1'-0"

Drawn: JK

Job: GREEN/BALL

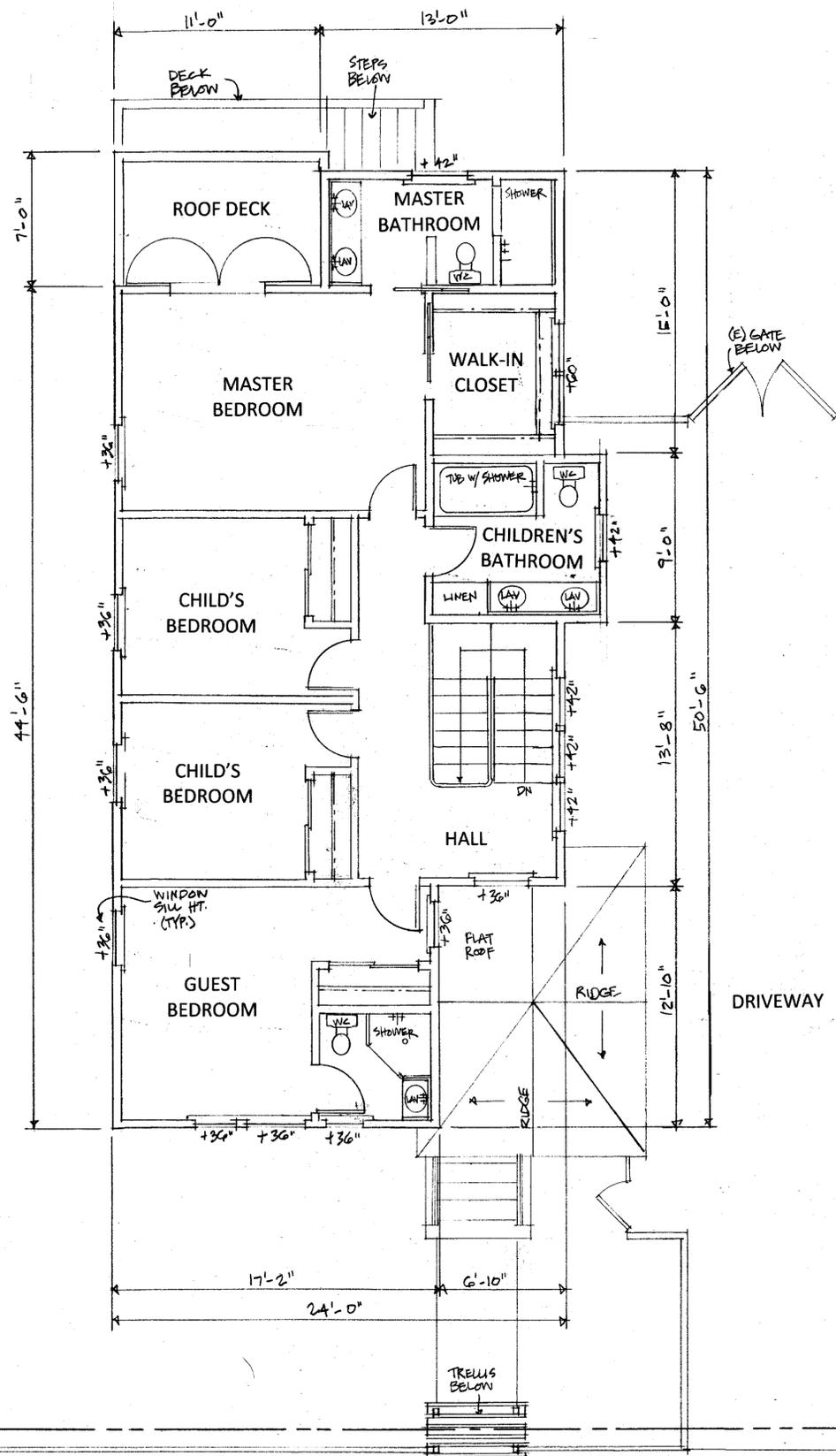
Sheet: 1

Of 10 Sheets

JEFF KROOT ARCHITECT & ASSOCIATES
P.O. BOX 246 • SAN ANSELMO, CALIFORNIA 94079 • 415/466-5531

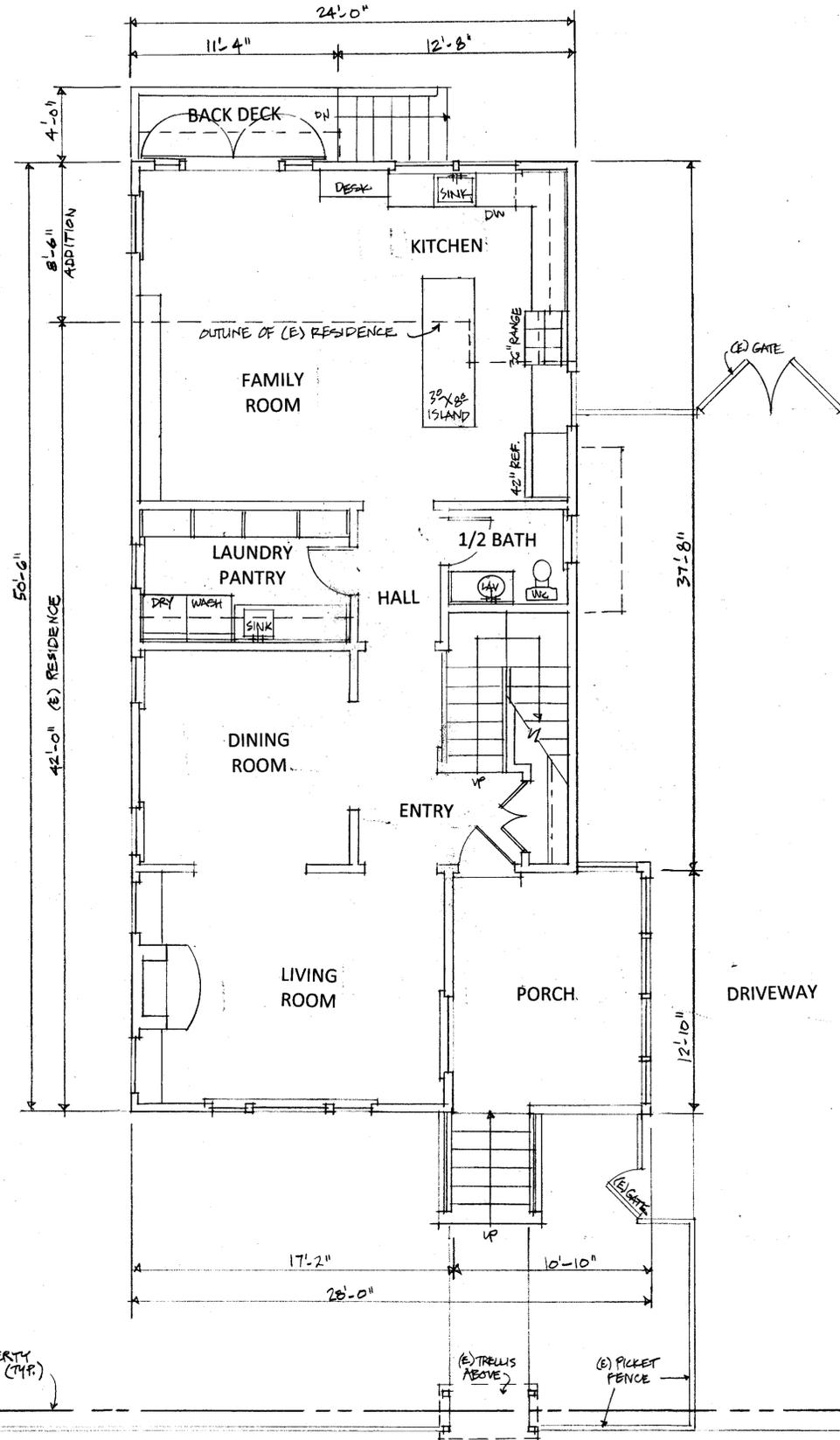
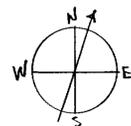
SITE PLAN SITE INFORMATION SECTION

ADDITION / REMODEL FOR:
The GREEN / BALL FAMILY
24 WOODLAND AVE., SAN ANSELMO, CA
APN 007-252-21



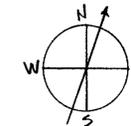
WOODLAND AVE.

UPPER FLOOR PLAN
1/4" = 1'-0"



WOODLAND AVE.

LOWER FLOOR PLAN
1/4" = 1'-0"



REVISIONS	BY
UPPER FLOOR WINDOW SILLS	JFK
	10/21

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P.O. BOX 246 - SAN ANSELMO, CALIFORNIA 94979 - 415/465-5853

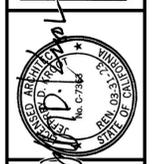


FLOOR PLANS

ADDITION / REMODEL FOR:
The GREEN / BALL FAMILY
24 WOODLAND AVE., SAN ANSELMO, CA
APN 007-252-21

Date: AUG, 2021
Scale: 1/4" = 1'-0"
Drawn: JFK
Job: GREEN/BALL
Sheet: **2**
Of 10 Sheets

REVISIONS	BY

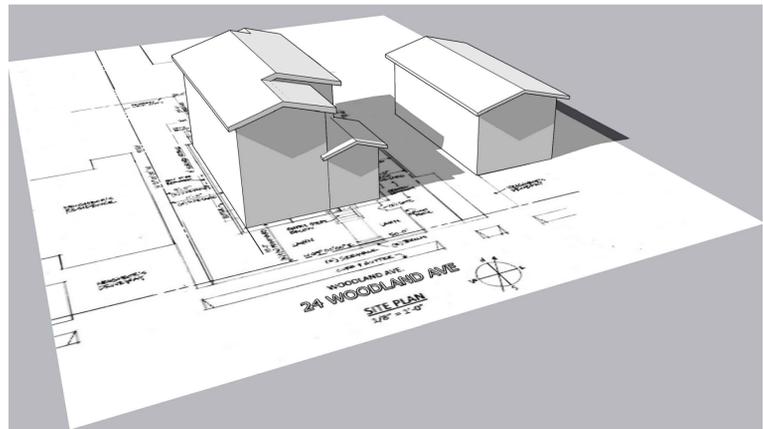


JEFF KROOT
ARCHITECT
 & ASSOCIATES
 P.O. BOX 246 • SAN ANSELMO, CALIFORNIA 94979 • 415/456-5531

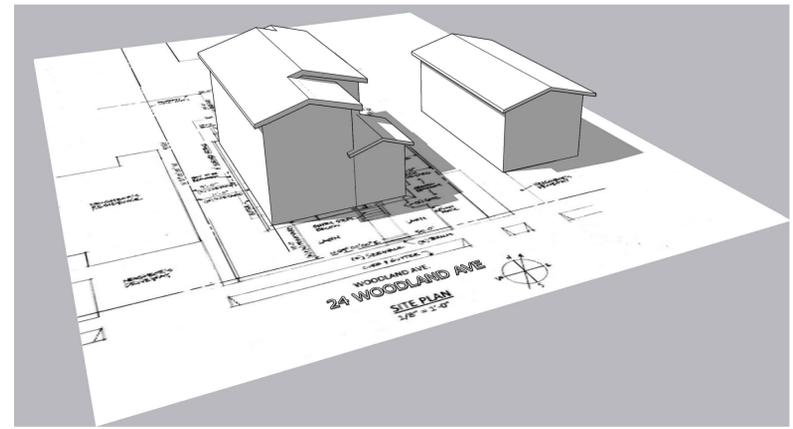
SHADE STUDY
STREET ELEVATION

ADDITION / REMODEL FOR:
The GREEN / BALL FAMILY
 24 WOODLAND AVE., SAN ANSELMO, CA
 APN 007-252-21

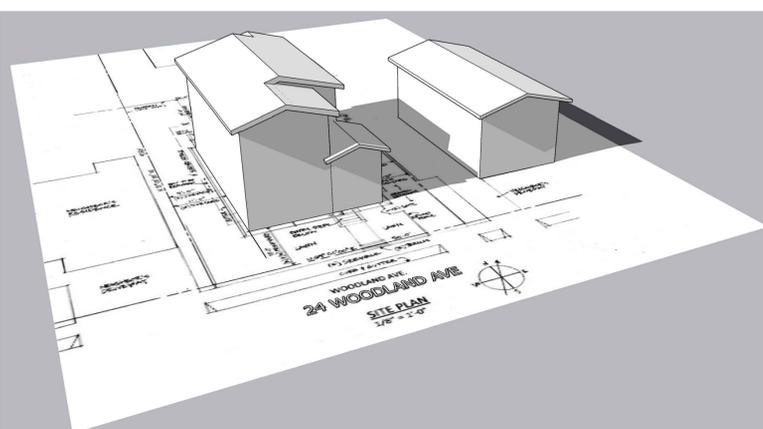
Date AUG 2021
 Scale 1/4" = 1'-0"
 Drawn DMS
 Job GREEN/BALL ADDITION
 Sheet **5**
 OF 10



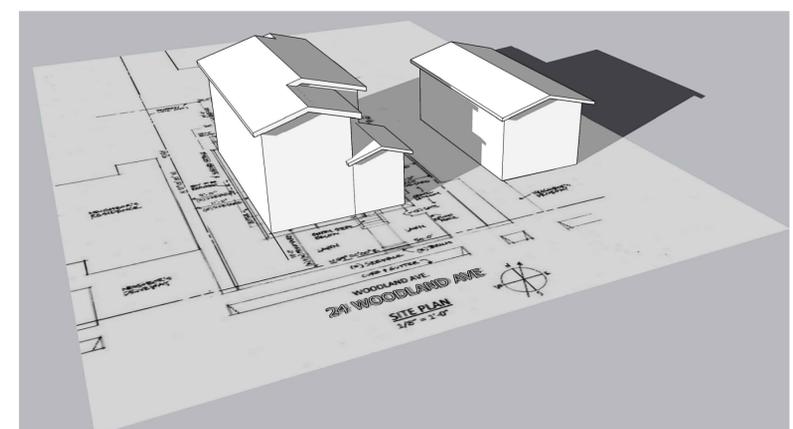
MARCH 21 3:00 PM



JUNE 21 3:00 PM



SEPTEMBER 21 3:00 PM



DECEMBER 21 3:00 PM

SHADE STUDY (NO SCALE)

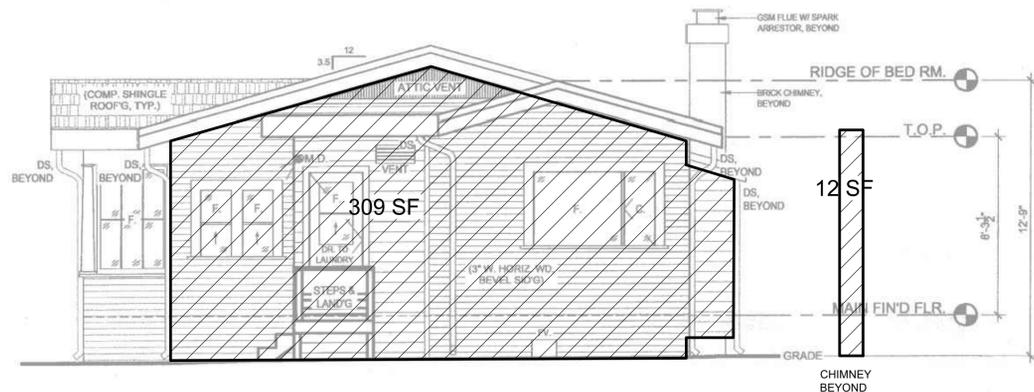


28 WOODLAND AVE.

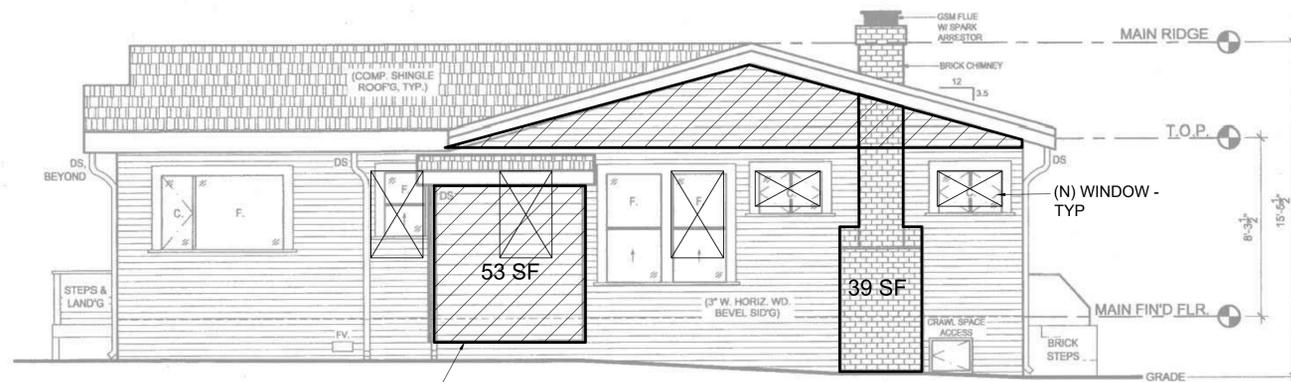
24 WOODLAND AVE.

20 WOODLAND AVE.

STREET ELEVATION (NO SCALE)



EXISTING NORTH ELEVATION
1/4" = 1'-0"



EXISTING WEST ELEVATION
1/4" = 1'-0"

EXISTING EXTERIOR WALL AREA

WEST	491 SF
SOUTH	312 SF
EAST	490 SF
NORTH	334 SF
	<u>1,627 SF</u>

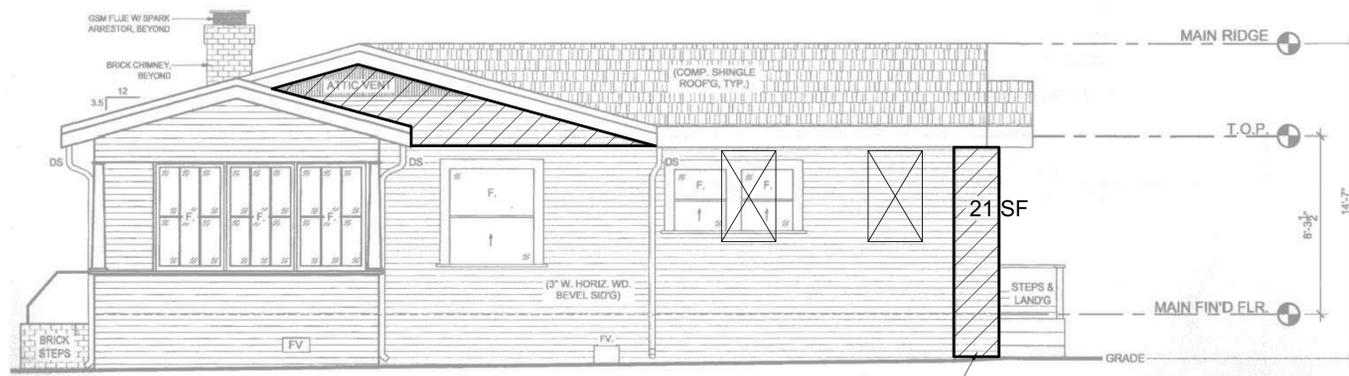
EXISTING EXTERIOR WALL AREA TO BE REMOVED

WEST	147 SF
SOUTH	29 SF
EAST	49 SF
NORTH	321 SF
	<u>546 SF</u>

PERCENT WALL DEMOLITION 33.6%
(546 / 1,627)



EXISTING SOUTH ELEVATION
1/4" = 1'-0"



EXISTING EAST ELEVATION
1/4" = 1'-0"

REVISIONS BY

JEFF KROOT ARCHITECT & ASSOCIATES
P.O. BOX 246 • SAN ANSELMO, CALIFORNIA 94979 • 415/456-5531



DEMOLITION DIAGRAM

ADDITION / REMODEL FOR:
The GREEN / BALL FAMILY
24 WOODLAND AVE., SAN ANSELMO, CA
APN 007-252-21

Date OCT 2021
Scale 1/4" = 1'-0"
Drawn DMS
Job GREEN/BALL ADDITION
Sheet
OF 10 **6**

REVISION	BY

GREEN RESIDENCE

24 WOODLAND AVE.
SAN ANSELMO, CA 94960
1 BEDROOMS, 1 BATHS
CONSTRUCTION YEAR 1924

PUBLIC RECORDS
APN.....007-252-21
DEED NO.....19-021085
JURISDICTION.....TOWN OF SAN ANSELMO
ZONE.....R-2 (SINGLE FAMILY RESIDENTIAL)
BUILD'G. CODES.....2019 CRC, AND CBC, ETC.

AREA CALCS

MAIN FLOOR LIVING AREA	961 S.F.
COVERED ENTRY PORCH	164 S.F.
ENTRY TRELLIS	16 S.F.
GARAGE (DETACHED)	256 S.F.
TOTAL AREA	1,397 S.F.
LOT SIZE (.09 ACRES)	4,850 S.F.
LOT COV'G. (1.397/4,850)	2.9% (35% MAX)

SETBACKS

FRONT	20'
SIDES	8'
REAR	20'
HEIGHT	30' MAX.

LOCATION (BY GOOGLE EARTH)
LATITUDE.....37° 58' 22" N.
LONGITUDE.....122° 33' 46" W.

SHEET INDEX

AB-1	SITE DATA AND AREA CALCS
AB-2	FLOOR PLAN
AB-3	BUILDING ELEVATIONS
AB-4	BUILDING SECTIONS AND FRAMING ASSEMBLY NOTES

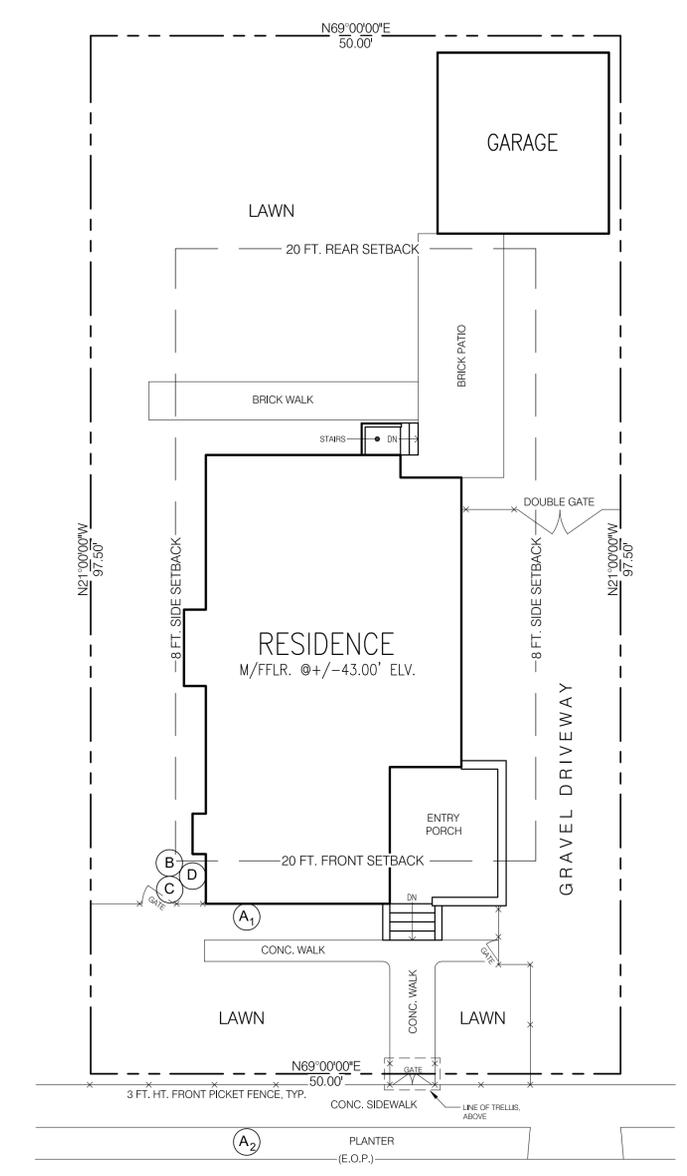
COMMON ABBREVIATIONS

A.	AWNING
ADJ.	ADJACENT
APN	ASSESSOR'S PARCEL NUMBER
C.	CASEMENT
CONC.	CONCRETE
DN	DOWN
DR.	DOOR
DS	DOWNSPOUT
E.O.P.	EDGE OF PAVEMENT (APPROXIMATE)
ELV.	ELEVATION (ABOVE SEA LEVEL, APPROX.)
F.	FIXED
HT.	HEIGHT
M/FFLR.	MAIN FINISHED FLOOR (LEVEL)
F.V.	FOUNDATION VENT
R.O.W.	RIGHT-OF-WAY
S.G.	SINGLE GLAZED
S.H.	SINGLE HUNG
TLD	TIGHT-LINE DRAIN
T.O.P.	TOP OF PLATE
2868 DR.	2'-8" WIDE X 6'-8" HIGH DOOR
4040 AF, DG, SL.	4'-0" W. X 4'-0" H. ALUMINUM-FRAM'D DBL.-GLAZED SLIDER WINDOW (SINGLE HUNG-S.H., CASEMENT-C., ETC.)

UTILITY-EQUIPMENT LEGEND

(A ₁)	WATER INLET/ SHUTOFF
(A ₂)	WATER METER
(B)	ELECTRICAL METER-MAIN(100 AMP, 120-240 VAC)
(C)	NATURAL GAS METER
(D)	CABLE TV AND INTERNET

THIS IS NOT AN OFFICIAL OR RECORDED SURVEY, AND MAY NOT BE USED FOR ANY SUBMITTAL. THE PROPERTY LINES SHOWN ABOVE ARE DEPICTED FOR GENERAL PLANNING PURPOSES ONLY, BASED ON AVAILABLE COUNTY PUBLIC RECORDS, AND ARE THEREFORE SHOWN POSITIONED IN THE PROXIMITY OF FENCE LINES. THEY ARE NOT TO BE CONSTRUED AS THE LEGAL DESCRIPTION OR AS THE ACTUAL PROPERTY LINE LOCATIONS FOR THIS LOT. THE SERVICES OF A LICENSED CIVIL ENGINEER OR SURVEYOR MAY BE REQUIRED BY YOUR PLANNING AND BUILDING DEPARTMENT JURISDICTION IN THE EVENT YOU SEEK APPROVAL FOR FUTURE CONSTRUCTION. - PLEASE REFER TO DEED REFERENCE ID# [19-021085] FOR A LEGAL DESCRIPTION OF THIS PROPERTY. - THE MAIN FINISHED FLOOR ELEVATION IS APPROXIMATE AND DERIVED FROM UNOFFICIAL ONLINE MAPPING RESOURCES.



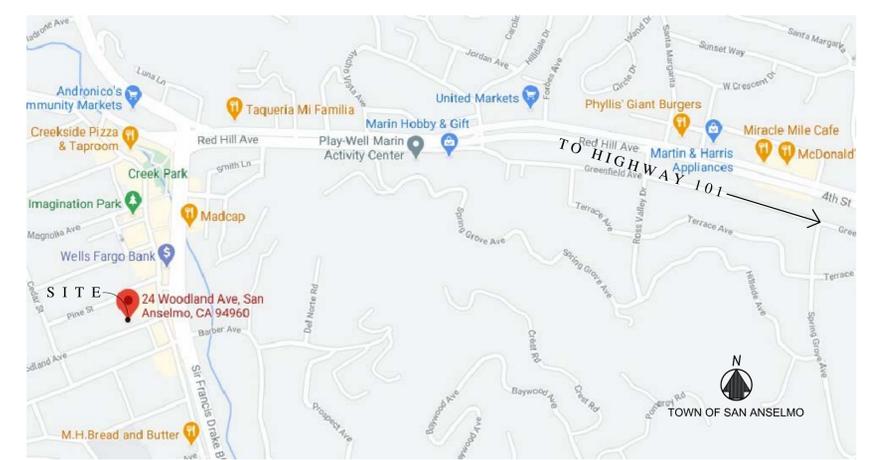
WOODLAND AVE. (40' R.O.W.)
BUILT ROAD +/-24 FT. WIDE

(E.O.P.)

SITE DATA (FOR OWNER PLANNING ONLY)

THIS IS NOT A SURVEY. LOT BOUNDARY AS SHOWN ON RECORDED MAP BK 7 - PG 25

SCALE 1/8"=1'-0"



VICINITY MAP, N.T.S.

DRAFTTECH (of Marin County)
15 SCHOOL TERRACE
NOVATO, CA. 94945
draftechinc@jaboo.com ph. (415) 897-0442

SITE DATA
WITH AREA CALCULATIONS
(FOR OWNER'S GENERAL PLANNING ONLY)

AS-BUILT DRAWINGS FOR THE:
GREEN RESIDENCE
24 WOODLAND AVE
SAN ANSELMO, CALIFORNIA 94960
(415) 887-0905
APN 007-252-21

Date	04/30/21
Scale	1/8"=1'-0"
Drawn by	SRT/VGT
Project	GREEN

AS-BUILT PLAN
AB-1
sheet 1 of 4

REFERENCE - NOT FOR SUBMITTAL
ADDITIONAL COPIES AVAILABLE BY REQUEST

REVISION	BY

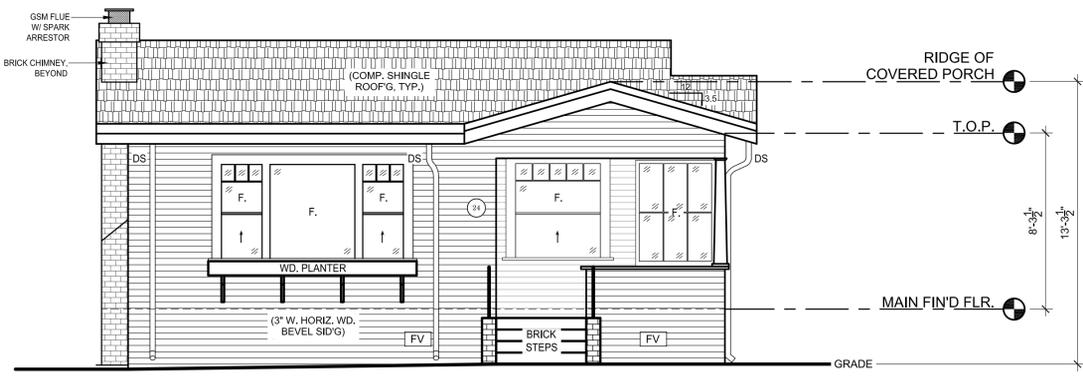
DRAFTECH (of Marin County)
 15 SCHOOL TERRACE
 NOVATO, CA. 94945
 draftech@yahoo.com ph. (415) 897-0042

BUILDING ELEVATIONS

AS-BUILT DRAWINGS FOR THE:
GREEN RESIDENCE
 24 WOODLAND AVE.
 SAN ANSELMO, CALIFORNIA 94960
 (415) 897-0905 APN 007-262-21

Date 04/30/21
 Scale 1/4"=1'-0"
 Drawn by SRT/VGT
 Project GREEN

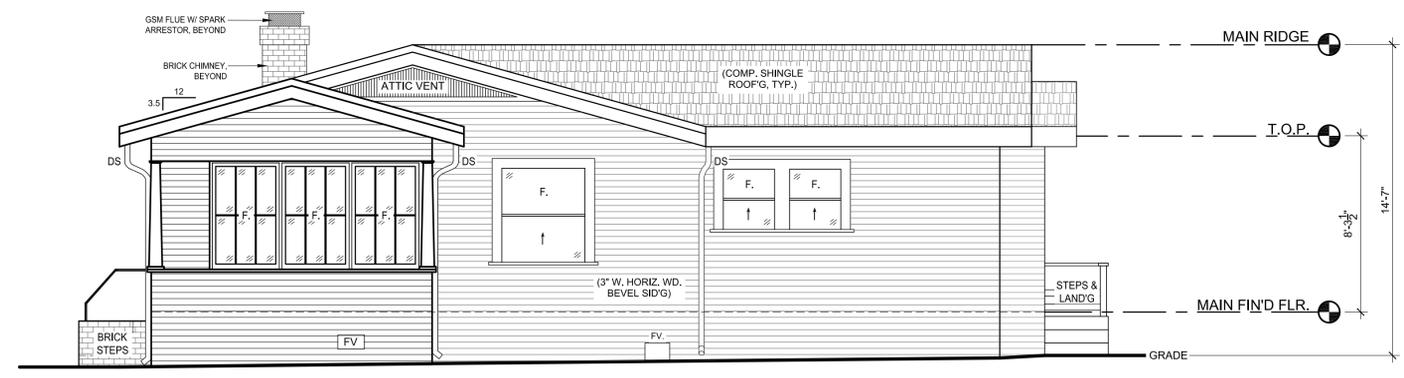
AS-BUILT
AB-3
 sheet 3 of 4



SOUTH ELEVATION

SCALE : 1/4"=1'-0"

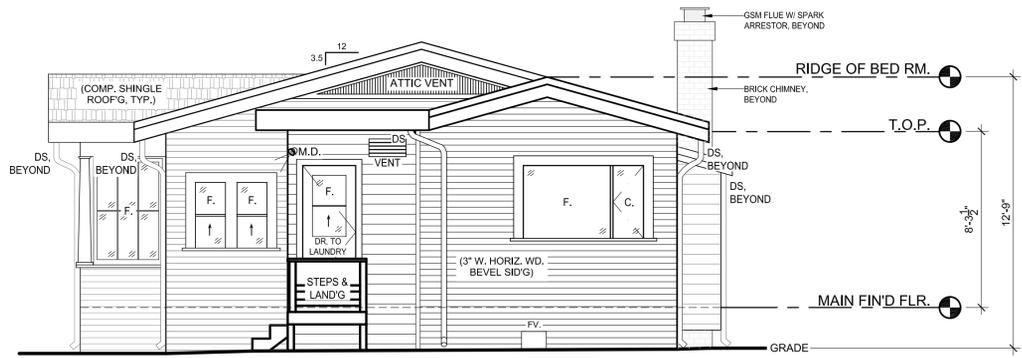
VIEW FROM FRONT LOT



EAST ELEVATION

SCALE : 1/4"=1'-0"

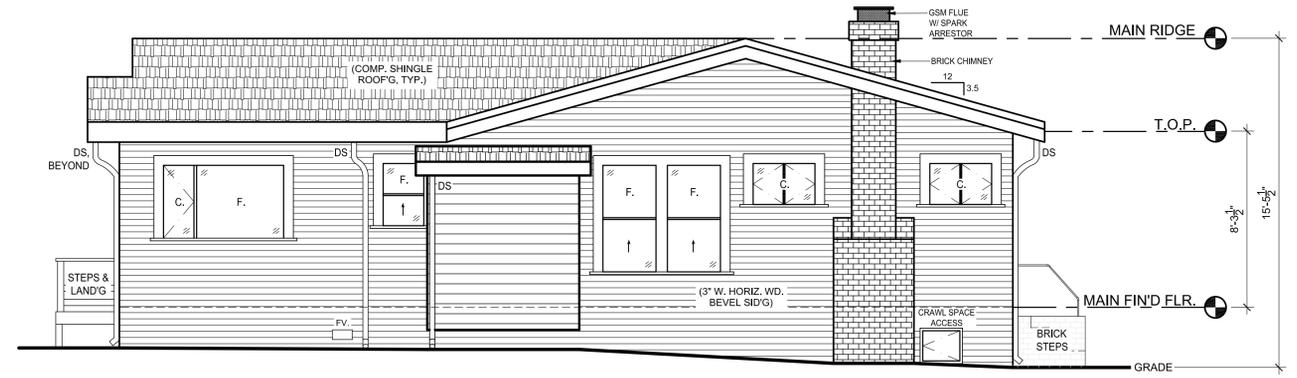
VIEW FROM SIDE LOT



NORTH ELEVATION

SCALE : 1/4"=1'-0"

VIEW FROM REAR LOT



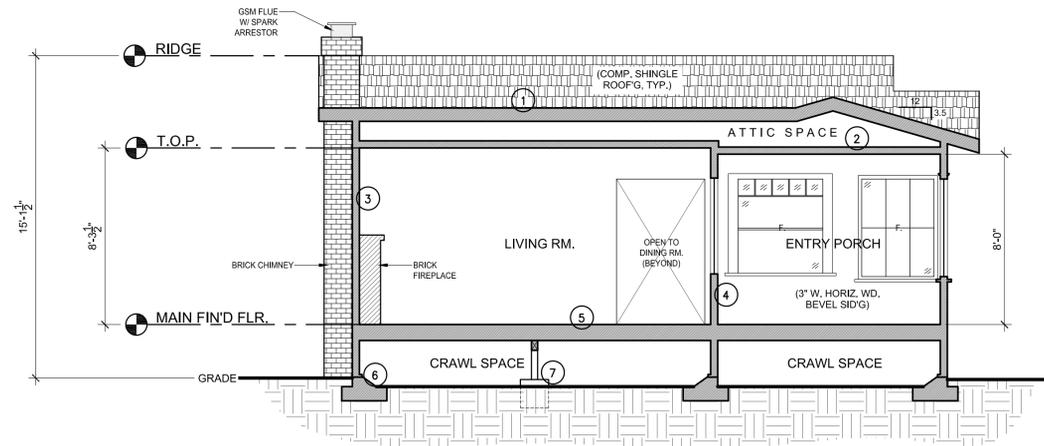
WEST ELEVATION

SCALE : 1/4"=1'-0"

VIEW FROM SIDE LOT

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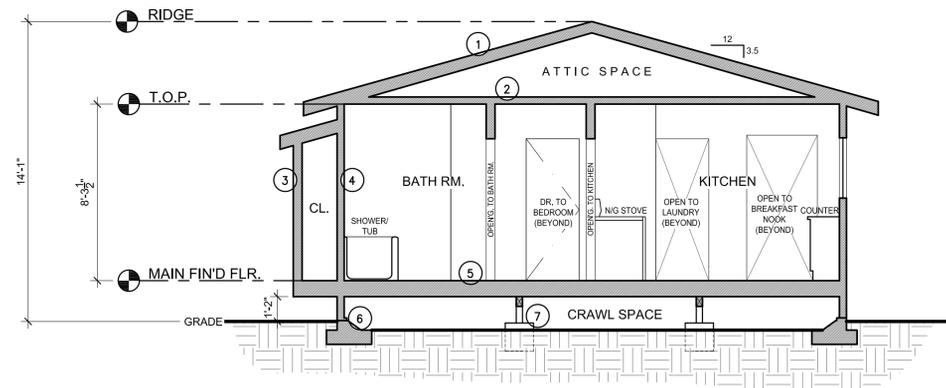
GREEN-AB-ELEVATIONS.DWG copyright © 2021 DRAFTECH - NOVATO, CA



CROSS SECTION 'A'

SCALE : 1/4"=1'-0"

FRAMING ASSEMBLY NOTES		
①	ROOF FRAMING (AS EVIDENT)	COMP. SHINGLE ROOF'G O/ BUILD'G. PAPER O/ 1X SHEATH'G. O/ 2X4 RAFTERS @ +/-24" O.C., TYP.
②	CEILING FRAMING (AS EVIDENT)	2X4 JOISTS @ +/-24" O.C. W/ 5/8" GYP. BD. FINISH AT CEIL'G., TYP. (INSULATION VALUE UNKNOWN)
③	EXTERIOR WALLS (AS EVIDENT)	3" WIDE BEVEL WOOD SID'G. O/ BUILD'G. PAPER O/ 2X4 STUDS @ 16" O.C. (ASSUM'D.) W/ 1/2" GYP. BD. FIN. AT INTERIOR, TYP., (R-13 INSULATION, ASSUMED)
④	INTERIOR WALLS (AS EVIDENT)	1/2" GYP. BD. O/ 2X4 STUDS @ 16" O.C. (ASSUMED)
⑤	MAIN FLR. - FLOOR FRAMING (AS EVIDENT)	FIN'D. FLOOR PER PLAN O/ 1X SUBFLOOR O/ 2X8 JOISTS @ +/-16" O.C. (INSULATION VALUE UNKNOWN)
⑥	PERIMETER FOUNDATION WALLS (AS EVIDENT)	2X6 MUD SILL O/ 8" WIDE BATTERED CONC. FOUNDATION WALL, NO ANCHOR BOLTS EVIDENT (PROFILE BELOW GRADE UNKNOWN)
⑦	INTERIOR FOUNDATION -POST AND FOOTING (AS EVIDENT)	4X6 BEAM O/ 4X6 POST O/ 16" SQ. CONC. FOOT'G. (PROFILE BELOW GRADE UNKNOWN)



CROSS SECTION 'B'

SCALE : 1/4"=1'-0"

REVISION	BY

DRAFTECH (of Marin County)
 15 SCHOOL TERRACE
 NOVATO, CA. 94945
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**BUILDING SECTIONS AND
 FRAMING ASSEMBLY NOTES**

AS-BUILT DRAWINGS FOR THE:
GREEN RESIDENCE
 24 WOODLAND AVE.
 SAN ANSELMO, CALIFORNIA 94960
 (415) 897-0905 APN 007-262-21

Date	04/30/21
Scale	1/4"=1'-0"
Drawn by	SRT/VGT
Project	GREEN

AS-BUILT
AB-4

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