

49 SUNNYSIDE



**Existing and Proposed Conditions
Residential Lots Below 150 Mean Sea Level**

The following table should be placed on the cover sheet of the plan set in this format.
If something is inapplicable to your project please indicate "Not Applicable" or "N/A" in the appropriate box, do not leave cells blank.

	Existing	Proposed	Code
Zoning	R-1	R-1	
General Plan Designation	Single Family	Single Family	
Flood Zone	No	No	
Lot Area (Sq. Ft.)	8346 sf	8346sf	From Survey
LOT COVERAGE			
Lot coverage (sq. ft.) - footprint of all structures, porches, roof overhangs over 2 feet, and decks >36 inches above grade.	1601 sf	1460 sf	SACMC 10-3.412
Lot coverage %	19.2%	17.5%	35% max
FLOOR AREA			
Adjusted Floor Area (sq. ft.)			
First Floor	556.5	966.9	
Second Floor	1560.9	1410.3	
Other Floors	N/A	N/A	
Garage area over 400 sq. ft.	0	82.9	
Basement	0	N/A	
Crawl Space with concrete floor	0	0	
Attic with floor	0	0	
Areas with ceiling > 15 feet in height	0	0	
Accessory Structures	0	0	
Accessory Dwelling Unit(s)	0	0	
Total (sq. ft.)	2117.4	2460.1	
Adjusted Floor Area Ratio %	25.4%	29.4%	
Garage area	232.7	482.9	
SETBACKS			
Front	81'-6"	77'-5"	
Side	3'-2" - 3'-9"	5'-1"	
Side	9'-7" - 12'-9"	8'-2" - 11'-9"	
Rear	22'-5" - 34'-5"	39'-1"	
Street Side (if applicable)	N/A	N/A	
HEIGHT / STORIES			
Maximum height above average existing grade	31'- 6 1/2"	31'-1"	
Stories	2	2	
PARKING			
Onsite parking	1	2	
GRADING QUANTITIES			
Cut	0 sf	200 cu.yd.	
Fill	0 sf	-130 cu.yd.	
Total Combined	0 sf	70 cu.yd.	
Off-Haul	0 sf	70 cu.yd.	

PLAN CHECK - RESPONSE 1

DRAWN BY
AJM
CHECKED BY
AJM
FILE NAME
49Sunnyside_01.dwg
CLIENT
PHILLIPS/McCUNE
PROJECT
49 SUNNYSIDE AVE
JOB NUMBER
2022-001
ISSUANCE
PERMIT
DATE
JULY 01, 2022
SCALE
DRAWING NAME
COVER SHEET

ABBREVIATIONS

&	And	GA	Gauge
@	At	GALV	Galvanized
CL	Center Line	GL	Glass
⊙	Diameter	GND	Ground
#	Pound or Number	GWB	Gypsum Wall Board
%	Percent	GYP	Gypsum
AB	Anchor Bolt	H	High
ABV	Above	HB	Hose Bibb
ACT	Acoustic Tile	HC	Hollow Core
ADA	Americans w/ Disabilities Act	HCW	Hollow Core Wood
ADJ	Adjustable	HD	Head/Heavy Duty
AFF	Above Finish Floor	HDR	Header
ALT	Alternate	HM	Hollow Metal
ALUM	Aluminum	HORIZ	Horizontal
APPROX	Approximate	HR	Hour
ARCH	Architectural	HT	Height
AVG	Average		
BD	Board	INCL	Include(d)(ing)
BEL	Below	INSUL	Insulation
BITUM	Bituminous	INT	Interior
BLDG	Building	INTM	Intermediate
BM	Beam	IRR	Irrigation
BO	Bottom of	JAN	Janitor
BOT	Bottom	JT	Joint
BSMT	Basement		
BTWN	Between	L	Long/Length
CAB	Cabinet	LAM	Laminate
CEM	Cement	LAV	Lavatory
CER	Ceramic	LD	Landscape Drain
CIP	Cast-in-Place	LH	Left Hand
CJ	Control Joint	LIN	Lineal
CLNG	Ceiling	LOCN	Location
CLOS	Closet	LT	Light
CLR	Clear	MAS	Masonry
CMU	Concrete Masonry Unit	MEN	Men's Restroom
COL	Column	MAX	Maximum
CONC	Concrete	MECH	Mechanical
COND	Condition	MEMB	Membrane
CONN	Connection	MFR	Manufacturer
CONSTR	Construction	MIN	Minimum
CONT	Continuous	MTD	Mounted
CONTR	Contractor	MTL	Metal
CORR	Corridor	N	North
CPT	Carpet	NA	Not Applicable
CT	Ceramic Tile	NIC	Not in Contract
CNTR	Counter	NO	Number
CTR	Center	NOM	Nominal
DBL	Double	NTS	Not to Scale
DET	Detail		
DIA	Diameter	OA	Overall
DIAG	Diagonal	OC	On Center
DIM	Dimension	OFD	Overflow Drain
DN	Down	OH	Opposite Hand/Overhead
DR	Door	OPNG	Opening
DS	Downspout	OPP	Opposite
DWG	Drawing	PKG	Parking
(E)	Existing	PL	Plate
E	East	PL	Property Line
EA	Each	PLAM	Plastic Laminate
EL	Elevation	PLAS	Plaster
ELEC	Electrical	PLYWD	Plywood
ELEV	Elevator	PNL	Panel
EMER	Emergency	PNT	Paint(ed)
EQ	Equal	POB	Point of Beginning
EQPT	Equipment	PR	Pair
EXIST	Existing	PT	Point
EXT	Exterior	PTD	Painted
EXTR	Extruded	PTN	Partition
FD	Floor Drain	R	Riser/Radius
FE	Fire Extinguisher	RA	Relieving Angle
FEC	FE Cabinet	RCP	Reflected Ceiling Plan
FHC	Fire Hose Cabinet	RD	Roof Drain
FIN	Finish	REF	Reference
FLR	Floor	REFR	Refrigerator
FLASH	Flashing	REINF	Reinforced
FO	Face of	REQD	Required
FOC	Face of Concrete	REV	Reverse/Revised
FOF	Face of Finish	RF	Roof
FOIC	Furnished by Owner, Installed by Contractor	RFG	Roofing
FOIO	Furnished by Owner, Installed by Owner	RH	Right Hand
FOS	Face of Stud	RM	Room
FP	Floor Plan	RO	Rough Opening
FRT	Fire Retardant	S	South
FT	Foot or Feet	SC	Solid Core
FTG	Footing	SCHED	Schedule
		SCW	Solid Core Wood
		SECT	Section
		SF	Square Feet
		SH	Shelf
		SHT	Sheet

GRAPHIC SYMBOLS

DETAIL	
Detail Number	
Sheet Number	
DETAIL	
Detail Number	
Sheet Number	
BUILDING SECTION	
Section Number	
Sheet Number	
BUILDING ELEVATION	
Elevation Number	
Sheet Number	
INTERIOR ELEVATION	
Elevation Number	
Sheet Number	
ROOM NUMBER	
DOOR NUMBER	
WINDOW NUMBER	
CONTROL ELEVATION	
SPOT ELEVATION	
HIDDEN / OVERHEAD	
REVISION	
REVISION INDICATOR	

MATERIALS LEGEND

	EARTH		BATT INSULATION
	GRAVEL/ CRUSHED STONE		CONTINUOUS WOOD FRAMING
	MASONRY		WOOD BLOCKING
	CONCRETE		STEEL
	GROUT		ALUMINUM
	RIGID INSULATION		

COMPLIANCE

THE PROJECT COMPLIES WITH THE FOLLOWING 2019 TOWN OF SAN ANSELMO BUILDING REACH CODES (CALGREEN) REQUIREMENTS:

A) AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF INSPECTION SHALL BE WEATHER-BASED (4.304).

B) PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1).

C) COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1)

D) ADHESIVES, SEALANTS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOE AND OTHER TOXIC COMPOUND LIMITS (4.504.2.1).

E) PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOE LIMITS (4.504.2.2).

F) AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS (4.504.2.3)

G) CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOE LIMITS (4.504.3).

H) MINIMUM 90% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SECTION 4.504.4.

I) PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (4.504.5)

J) DOCUMENTATION OF COMPLIANT VOC FINISH MATERIALS WILL BE PROVIDED.

K) THERMAL INSULATION SHALL BE WITHIN VOC LIMITS.

J) DOCUMENTATION OF COMPLIANT VOC FINISH MATERIALS WILL BE PROVIDED.

*****) INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (4.504.4).

L) CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE (4.505.3)

M) PROVIDE A COPY OF THE MAINTENANCE AND OPERATION MANUAL TO THE BUILDING OCCUPANT OR OWNER ADDRESSING ITEMS 1-10 IN SECTION 4.410.1. THE EXISTING DWELLING COMPLIES WITH THE REQUIREMENTS FOR SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS. SMOKE DETECTORS ARE LOCATED IN ALL BEDROOMS AND IN THE IMMEDIATE VICINITY OF EACH BEDROOM. CARBON MONOXIDE DETECTORS ARE INSTALLED IN AREAS LEADING TO BEDROOMS.

N) OUTSIDE POTABLE WATER USE IN LANDSCAPE AREAS: RESIDENTIAL DEVELOPMENT SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT (4.304.1).

O) PLUMBING FIXTURES, INSTALLED PER CALIFORNIA PLUMBING CODE WILL COMPLY WITH PRESCRIPTIVE REQUIREMENTS PER 4.303.1.1 THRU 4.303.1.4.4.

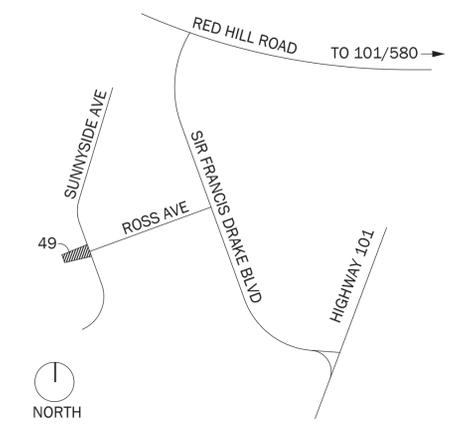
P) PER "ZERO WASTE MARIN", 65% OF NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE WILL BE RECYCLED OR SALVAGED.

Q) EACH BATHROOM PROVIDED WITH THE FOLLOWING: ENERGY STAR FANS DUCTED TO THE OUTSIDE; FANS CONTROLLED BY HUMIDITY CONTROL; HUMIDITY CONTROLS CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF BETWEEN 50-80 PERCENT.

SHEET INDEX

ARCHITECTURAL	
A0.000	GENERAL INFORMATION & SHEET INDEX
A0.010	CALGREEN - MANDATORY MEASURES - SHEET 1
A0.020	CALGREEN - MANDATORY MEASURES - SHEET 2
A0.030	LOW-RISE MANDATORY MEASURES SUMMARY
A0.100	SITE SURVEY
A0.110	SITE PHOTOS
A1.000	SITE PLAN - DEMOLITION
A1.010	SITE PLAN - PROPOSED
A1.020	STORMWATER POLLUTION BEST MANAGEMENT PRACTICES
A1.030	SITE PLANS - DRAINAGE
A1.100	FLOOR PLAN - BASEMENT/GARAGE (EXISTING)
A1.110	FLOOR PLAN - BASEMENT/GARAGE (NEW)
A1.200	FLOOR PLAN - LEVEL ONE (EXISTING)
A1.210	FLOOR PLAN - LEVEL ONE (NEW)
A2.000	EAST ELEVATIONS
A2.010	SOUTH ELEVATIONS
A2.020	WEST ELEVATIONS
A2.030	NORTH ELEVATIONS
A3.000	SITE & BUILDING SECTIONS
A3.010	SITE & BUILDING SECTIONS
A9.000	ISOMETRIC VIEWS - EXCAVATION & GRADING

VICINITY MAP



ANDREW McCUNE ARCHITECT

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San Francisco, CA 94107
T (206) 850 8500
www.andrewmccune.com

PROJECT INFORMATION

APPLICABLE CODES:

2019 EDITION OF THE CALIFORNIA RESIDENTIAL CODE
2019 EDITION OF THE CALIFORNIA MECHANICAL CODE
2019 EDITION OF THE CALIFORNIA ELECTRICAL CODE
2019 EDITION OF THE CALIFORNIA PLUMBING CODE
2019 EDITION OF THE CALIFORNIA ENERGY CODE
2019 EDITION OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE
SAN ANSELMO, CALIFORNIA MUNICIPAL CODE (SACMC)

BUILDING CLASSIFICATION: TYPE V-B
OCCUPANCY: R-3, U
ZONING: R-1 (BELOW 150')
WUI: YES. PROJECT TO MEET REQUIREMENTS OF SACMC 9-1.214, CRC 337.2 & CBC 701A.3
ADDRESS: 49 SUNNYSIDE AVENUE SAN ANSELMO, CA 94960
APN: 007-263-24
OWNERS: KATHRYN PHILLIPS & ANDREW McCUNE
CONTACT: ANDREW McCUNE
206.850.8500
andrew@andrewmccune.com

**49 SUNNYSIDE AVE
SAN ANSELMO, CA 94960**

PROJECT DATA

LOT AREA:	8346 SF	
MAX LOT COVERAGE (35%)	2921 SF	10-3.412 (SACMC)
EXISTING LOT COVERAGE (19%)	1601 SF	
PROPOSED LOT COVERAGE (18%)	1479 SF	
FAR (35%):	2921 SF	10-3.412 (SACMC)
GARAGE EXEMPTION:	400 SF	10-3.412 (SACMC)
AREA BONUS:	325 SF	TABLE 4F, 10-3.412 (SACMC)
MAX ALLOWED FLOOR AREA:	3646 SF	TABLE 4F, 10-3.412 (SACMC)
MAX STORIES:	2	TABLE 4A, 10-3.402 (SACMC)
MAX HEIGHT:	30'	TABLE 4A, 10-3.402 (SACMC)
MIN FRONT SETBACK:	20'	TABLE 4A, 10-3.402 (SACMC)
MIN REAR SETBACK:	20'	TABLE 4A, 10-3.402 (SACMC)
MIN SIDE SETBACKS:	8'	TABLE 4A, 10-3.402 (SACMC)



PLAN CHECK - RESPONSE 1

DRAWN BY: AJM
CHECKED BY: AJM
FILE NAME: 49Sunnyside_01.dwg
CLIENT: PHILLIPS/McCUNE
PROJECT: 49 SUNNYSIDE AVE
JOB NUMBER: 2022-001
ISSUANCE: PERMIT
DATE: JULY 01, 2022
SCALE:

DRAWING NAME: GENERAL INFORMATION & SHEET INDEX

SHEET NUMBER: **A0.000**



2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

Y N/A RESPON. PARTY YES NOT APPLICABLE RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR, ETC.)

Y	N/A	RESPON. PARTY
		CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL
		301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7.
		301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration.
		Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates.
		301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used.
		SECTION 302 MIXED OCCUPANCY BUILDINGS
		302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy.
		ABBREVIATION DEFINITIONS: HCD Department of Housing and Community Development BSC California Building Standards Commission DSA-SS Division of the State Architect, Structural Safety OSHDP Office of Statewide Health Planning and Development LR Low Rise HR High Rise AA Additions and Alterations N New
		CHAPTER 4 RESIDENTIAL MANDATORY MEASURES
		DIVISION 4.1 PLANNING AND DESIGN
		SECTION 4.102 DEFINITIONS
		4.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference)
		FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water.
		WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also used for perimeter and inlet controls.
		4.106 SITE DEVELOPMENT
		4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, management of storm water drainage and erosion controls shall comply with this section.
		4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent property, prevent erosion and retain soil runoff on the site. <ol style="list-style-type: none">Retention basins of sufficient size shall be utilized to retain storm water on the site.Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved by the enforcing agency.Compliance with a lawfully enacted storm water management ordinance. Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are part of a larger common plan of development which in total disturbs one acre or more of soil. (Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)
		4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface water include, but are not limited to, the following: <ol style="list-style-type: none">SwalesWater collection and disposal systemsFrench drainsWater retention gardensOther water measures which keep surface water away from buildings and aid in groundwater recharge. Exception: Additions and alterations not altering the drainage path.
		4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections 4.106.4.1, 4.106.4.2, or 4.106.4.3 to facilitate future installation and use of EV chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the <i>California Electrical Code</i> , Article 625. Exceptions: <ol style="list-style-type: none">On a case-by-case basis, where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon one or more of the following conditions:<ol style="list-style-type: none">Where there is no commercial power supply.Where there is evidence substantiating that meeting the requirements will alter the local utility infrastructure design requirements on the utility side of the meter so as to increase the utility side cost to the homeowner or the developer by more than \$400.00 per dwelling unit.Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional parking facilities.
		4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. 4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".
		4.106.4.2 New multifamily dwellings. If residential parking is available, ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future EVSE. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number. Notes: <ol style="list-style-type: none">Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging.There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. 4.106.4.2.1 Electric vehicle charging space (EV space) locations. Construction documents shall indicate the location of proposed EV spaces. Where common use parking is provided at least one EV space shall be located in the common use parking area and shall be available for use by all residents.

Y	N/A	RESPON. PARTY																		
		4.106.4.2.1.1 Electric Vehicle Charging Stations (EVCS) When EV chargers are installed, EV spaces required by Section 4.106.2.2, Item 3, shall comply with at least one of the following options: <ol style="list-style-type: none">The EV space shall be located adjacent to an accessible parking space meeting the requirements of the <i>California Building Code</i>, Chapter 11A, to allow use of the EV charger from the accessible parking space.The EV space shall be located on an accessible route, as defined in the <i>California Building Code</i>, Chapter 2, to the building. Exception: Electric vehicle charging stations designed and constructed in compliance with the <i>California Building Code</i> , Chapter 11B, are not required to comply with Section 4.106.4.2.1.1 and Section 4.106.4.2.2, Item 3. Note: Electric Vehicle charging stations serving public housing are required to comply with the <i>California Building Code</i> , Chapter 11B.																		
		4.106.4.2.2 Electric vehicle charging space (EV space) dimensions. The EV space shall be designed to comply with the following: <ol style="list-style-type: none">The minimum length of each EV space shall be 18 feet (5486 mm).The minimum width of each EV space shall be 9 feet (2743 mm).One in every 25 EV spaces, but not less than one EV space, shall have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm). <ol style="list-style-type: none">Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.																		
		4.106.4.2.3 Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the raceway termination point. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. 4.106.4.2.4 Multiple EV spaces required. Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and electrical load calculations to verify that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction. 4.106.4.2.5 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the <i>California Electrical Code</i> .																		
		4.106.4.3 New hotels and motels. All newly constructed hotels and motels shall provide EV spaces capable of supporting future installation of EVSE. The construction documents shall identify the location of the EV spaces. Notes: <ol style="list-style-type: none">Construction documents are intended to demonstrate the project's capability and capacity or facilitating future EV charging.There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. 4.106.4.3.1 Number of required EV spaces. The number of required EV spaces shall be based on the total number of parking spaces provided for all types of parking facilities in accordance with Table 4.106.4.3.1. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number.																		
		<table border="1"><caption>TABLE 4.106.4.3.1</caption><thead><tr><th>TOTAL NUMBER OF PARKING SPACES</th><th>NUMBER OF REQUIRED EV SPACES</th></tr></thead><tbody><tr><td>0-9</td><td>0</td></tr><tr><td>10-25</td><td>1</td></tr><tr><td>26-50</td><td>2</td></tr><tr><td>51-75</td><td>4</td></tr><tr><td>76-100</td><td>5</td></tr><tr><td>101-150</td><td>7</td></tr><tr><td>151-200</td><td>10</td></tr><tr><td>201 and over</td><td>6 percent of total</td></tr></tbody></table>	TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED EV SPACES	0-9	0	10-25	1	26-50	2	51-75	4	76-100	5	101-150	7	151-200	10	201 and over	6 percent of total
TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED EV SPACES																			
0-9	0																			
10-25	1																			
26-50	2																			
51-75	4																			
76-100	5																			
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201 and over	6 percent of total																			
		4.106.4.3.2 Electric vehicle charging space (EV space) dimensions. The EV spaces shall be designed to comply with the following: <ol style="list-style-type: none">The minimum length of each EV space shall be 18 feet (5486mm).The minimum width of each EV space shall be 9 feet (2743mm) 4.106.4.3.3 Single EV space required. When a single EV space is required, the EV space shall be designed in accordance with Section 4.106.4.2.3. 4.106.4.3.4 Multiple EV spaces required. When multiple EV spaces are required, the EV spaces shall be designed in accordance with Section 4.106.4.2.4. 4.106.4.3.5 Identification. The service panels or sub-panels shall be identified in accordance with Section 4.106.4.2.5. 4.106.4.3.6 Accessible EV spaces. In addition to the requirements in Section 4.106.4.3, EV spaces for hotels/motels and all EVSE, when installed, shall comply with the accessibility provisions for the EV charging stations in the <i>California Building Code</i> , Chapter 11B.																		
		DIVISION 4.2 ENERGY EFFICIENCY																		
		4.201 GENERAL																		
		4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.																		

Y	N/A	RESPON. PARTY																
		DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION																
		4.303 INDOOR WATER USE																
		4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.1.4. Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and other important enactment dates. 4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush. 4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. 4.303.1.3 Showerheads. 4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads. 4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead. 4.303.1.4 Faucets. 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi. 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi. 4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle. 4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per minute at 60 psi. Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction. 4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed in accordance with the <i>California Plumbing Code</i> , and shall meet the applicable standards referenced in Table 1701.1.6 of the <i>California Plumbing Code</i> .																
		NOTE: THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.																
		<table border="1"><caption>TABLE - MAXIMUM FIXTURE WATER USE</caption><thead><tr><th>FIXTURE TYPE</th><th>FLOW RATE</th></tr></thead><tbody><tr><td>SHOWER HEADS (RESIDENTIAL)</td><td>1.8 GMP @ 80 PSI</td></tr><tr><td>LAVATORY FAUCETS (RESIDENTIAL)</td><td>MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI</td></tr><tr><td>LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS</td><td>0.5 GPM @ 60 PSI</td></tr><tr><td>KITCHEN FAUCETS</td><td>1.8 GPM @ 60 PSI</td></tr><tr><td>METERING FAUCETS</td><td>0.2 GAL/CYCLE</td></tr><tr><td>WATER CLOSET</td><td>1.28 GAL/FLUSH</td></tr><tr><td>URINALS</td><td>0.125 GAL/FLUSH</td></tr></tbody></table>	FIXTURE TYPE	FLOW RATE	SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI	LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI	LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI	KITCHEN FAUCETS	1.8 GPM @ 60 PSI	METERING FAUCETS	0.2 GAL/CYCLE	WATER CLOSET	1.28 GAL/FLUSH	URINALS	0.125 GAL/FLUSH
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		4.304 OUTDOOR WATER USE																
		4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. NOTES: <ol style="list-style-type: none">The Model Water Efficient Landscape Ordinance (MWELO) is located in the <i>California Code Regulations</i>, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/																

Y	N/A	RESPON. PARTY
		DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY
		4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE
		4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency. 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING
		4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. Exceptions: <ol style="list-style-type: none">Excavated soil and land-clearing debris.Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility. 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency. <ol style="list-style-type: none">Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).Identify diversion facilities where the construction and demolition waste material collected will be taken.Identify construction methods employed to reduce the amount of construction and demolition waste generated.Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both. 4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1. Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company. 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq. ft. of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1. 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1. 4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1 through 5, Section 4.408.3 or Section 4.408.4. Notes: <ol style="list-style-type: none">Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in documenting compliance with this section.Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle). 4.410 BUILDING MAINTENANCE AND OPERATION
		4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building: <ol style="list-style-type: none">Directions to the owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.Operation and maintenance instructions for the following:<ol style="list-style-type: none">Equipment and appliances, including water-saving devices and systems, HVAC systems, photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.Roof and yard drainage, including gutters and downspouts.Space conditioning systems, including condensers and air filters.Landscape irrigation systems.Water reuse systems.Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.Public transportation and/or carpool options available in the area.Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.Information about water-conserving landscape and irrigation design and controllers which conserve water.Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.Information about state solar energy and incentive programs available.A copy of all special inspections verifications required by the enforcing agency or this code. 4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive. Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.2 (a)(2)(A) et seq. are not required to comply with the organic waste portion of this section.
		DIVISION 4.5 ENVIRONMENTAL QUALITY
		SECTION 4.501 GENERAL
		4.501.1 Scope. The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. SECTION 4.502 DEFINITIONS
		5.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference) AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements. COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1. DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.
		DRAWN BY: AIM CHECKED BY: AIM FILE NAME: 49Sunnyside_01.dwg CLIENT: PHILLIPS/McCUNE PROJECT: 49 SUNNYSIDE AVE JOB NUMBER: 2022-001 ISSUANCE: PERMIT DATE: JULY 01, 2022 SCALE: DRAWING NAME: CALGREEN MANDATORY MEASURES - SHEET 1 SHEET NUMBER: A0.010





2019 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. Exceptions may apply. (01/2020)

Building Envelope Measures:	
§ 110.6(a):	Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-400, ASTM E283 or AAMA/WDMA/CSA 1011.S 2/4440-2011.
§ 110.6(a)(5):	Labeling. Fenestration products and exterior doors must have a label meeting the requirements of 10-111(a).
§ 110.6(b):	Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather-stripped.
§ 110.7:	Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather-stripped.
§ 110.8(a):	Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).
§ 110.8(g):	Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of § 110.8(g).
§ 110.8(h):	Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(h) and be labeled per §10-113 when the installation of a cool roof is specified on the CF-IR.
§ 110.8(i):	Radiant Barrier. When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs.
§ 150.0(a):	Ceiling and Rafter Roof Insulation. Minimum R-22 insulation in wood-frame ceiling; or the weighted average U-factor must not exceed 0.043. Minimum R-19 or weighted average U-factor of 0.054 or less in a rafter roof alteration. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a continuous roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling.
§ 150.0(b):	Loose-fill insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value.
§ 150.0(c):	Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less. Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.102. Masonry walls must meet Tables 150.1-A or B.
§ 150.0(d):	Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor.
§ 150.0(f):	Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without facings, no greater than 0.3 percent; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).
§ 150.0(g)(1):	Vapor Retarder. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class II or Class III vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to § 150.0(d).
§ 150.0(g)(2):	Vapor Retarder. In climate zones 14 and 16, a Class II or Class III vapor retarder must be installed on the conditioned space side of all insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.
§ 150.0(q):	Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.58; or the weighted average U-factor of all fenestration must not exceed 0.58.
Fireplaces, Decorative Gas Appliances, and Gas Log Measures:	
§ 110.5(e):	Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces.
§ 150.0(e)(1):	Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.
§ 150.0(e)(2):	Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and light-tight damper or combustion-air control device.
§ 150.0(e)(3):	Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control.
Space Conditioning, Water Heating, and Plumbing System Measures:	
§ 110.0-§ 110.3:	Certification. Heating, ventilation and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the California Energy Commission.
§ 110.2(a):	HVAC Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-K.
§ 110.2(b):	Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating.
§ 110.2(c):	Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a setback thermostat.
§ 110.3(c)(4):	Water Heating Recirculation Loops Serving Multiple Dwelling Units. Water heating recirculation loops serving multiple dwelling units must meet the air release valve, backflow prevention, pump priming, pump isolation valve, and recirculation loop connection requirements of § 110.3(c)(4).
§ 110.3(c)(6):	Isolation Valves. Instantaneous water heaters with an input rating greater than 6.8 kBtu per hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.
§ 110.5:	Pilot Lights. Continuously burning pilot lights are prohibited for natural gas, fan-type central furnaces, household cooking appliances (except appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu per hour); and pool and spa heaters.
§ 150.0(h)(1):	Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards Manual; or the ACCA Manual J using design conditions specified in § 150.0(h)(2).



2019 Low-Rise Residential Mandatory Measures Summary

Requirements for Ventilation and Indoor Air Quality:	
§ 150.0(a):	Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(a)(1).
§ 150.0(a)(1C):	Single Family Detached Dwelling Units. Single family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow provided at rates determined by ASHRAE 62.2 Sections 4.1.1 and 4.1.2 and as specified in § 150.0(a)(1C).
§ 150.0(a)(1E):	Multifamily Attached Dwelling Units. Multifamily attached dwelling units must have mechanical ventilation airflow provided at rates in accordance with Equation 150.0-B and must be either a balanced system or continuous supply or continuous exhaust system. If a balanced system is not used, all units in the building must use the same system type and the dwelling-unit envelope leakage must be ≤ 0.3 CFM at 50 Pa (0.2 inch water) per square foot of dwelling unit envelope surface area and verified in accordance with Reference Residential Appendix RA3.8.
§ 150.0(a)(1F):	Multifamily Building Central Ventilation Systems. Central ventilation systems that serve multiple dwelling units must be balanced to provide ventilation airflow for each dwelling unit served at a rate equal to or greater than the rate specified by Equation 150.0-B. All unit airflows must be within 20 percent of the unit with the lowest airflow rate as it relates to the individual unit's minimum required airflow rate needed for compliance.
§ 150.0(a)(1G):	Kitchen Range Hoods. Kitchen range hoods must be rated for sound in accordance with Section 7.2 of ASHRAE 62.2.
§ 150.0(a)(2):	Field Verification and Diagnostic Testing. Dwelling unit ventilation airflow must be verified in accordance with Reference Residential Appendix RA3.7. A kitchen range hood must be verified in accordance with Reference Residential Appendix RA3.7.4 to confirm it is rated by HV1 to comply with the airflow rates and sound requirements as specified in Section 5 and 7.2 of ASHRAE 62.2.
Pool and Spa Systems and Equipment Measures:	
§ 110.4(a):	Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: a thermal efficiency that complies with the Appliance Efficiency Regulations; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heating.
§ 110.4(b)(1):	Piping. Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, or dedicated suction and return lines, or built-in or built-up connections to allow for solar heating.
§ 110.4(b)(2):	Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover.
§ 110.4(b)(3):	Directional Inlets and Time Switches for Pools. Pools must have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.
§ 110.5:	Pilot Light. Natural gas pool and spa heaters must not have a continuously burning pilot light.
§ 150.0(p):	Pool Systems and Equipment Installation. Residential pool systems or equipment must meet the specified requirements for pump sizing, flow rate, piping, filters, and valves.
Lighting Measures:	
§ 110.9:	Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirements of § 110.9.
§ 150.0(k)(1A):	Luminaire Efficacy. All installed luminaires must meet the requirements in Table 150.0-A.
§ 150.0(k)(1B):	Blank Electrical Boxes. The number of electrical boxes that are more than five feet above the finished floor and do not contain a luminaire or other device must be no greater than the number of bedrooms. These electrical boxes must be served by a dimmer, vacancy sensor control, or fan speed control.
§ 150.0(k)(1C):	Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must meet all of the requirements for: insulation contact (IC) labeling; air leakage; sealing; maintenance; and socket and light source as described in § 150.0(k)(1C).
§ 150.0(k)(1D):	Electronic Ballasts for Fluorescent Lamps. Ballasts for fluorescent lamps rated 13 watts or greater must be electronic and must have an output frequency no less than 20 kHz.
§ 150.0(k)(1E):	Night Lights, Step Lights, and Path Lights. Night lights, step lights and path lights are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided they are rated to consume no more than 5 watts of power and emit no more than 150 lumens.
§ 150.0(k)(1F):	Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods) must meet the applicable requirements of § 150.0(k).
§ 150.0(k)(1G):	Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8.
§ 150.0(k)(1H):	Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.
§ 150.0(k)(1I):	Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed.
§ 150.0(k)(2A):	Interior Switches and Controls. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A.
§ 150.0(k)(2B):	Interior Switches and Controls. Exhaust fans must be controlled separately from lighting systems.
§ 150.0(k)(2C):	Interior Switches and Controls. Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually turned ON and OFF.
§ 150.0(k)(2D):	Interior Switches and Controls. Controls and equipment must be installed in accordance with manufacturer's instructions.
§ 150.0(k)(2E):	Interior Switches and Controls. Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the control is installed to comply with § 150.0(k).
§ 150.0(k)(2F):	Interior Switches and Controls. Lighting controls must comply with the applicable requirements of § 110.9.



2019 Low-Rise Residential Mandatory Measures Summary

§ 150.0(h)(3A):	Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any dryer.
§ 150.0(h)(3B):	Liquid Line Drier. Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the manufacturer's instructions.
§ 150.0(i):	Storage Tank Insulation. Unfired hot water tanks, such as storage tanks and backup storage tanks for solar water-heating systems, must have a minimum of R-12 external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank.
§ 150.0(j)(2A):	Water Piping, Solar Water-heating System Piping, and Space Conditioning System Insulation. All domestic hot water piping must be insulated as specified in Section 609.11 of the California Plumbing Code. In addition, the following piping conditions must have a minimum insulation wall thickness of one inch or a minimum insulation R-value of 7.7: the hot five feet of cold water pipes from the storage tank; all hot water piping with a nominal diameter equal to or greater than 3/4 inch and less than one inch; all hot water piping with a nominal diameter less than 3/4 inch that is associated with a domestic hot water recirculation system from the heating source to storage tank or between tanks, buried below grade, and from the heating source to kitchen fixtures.
§ 150.0(j)(3):	Insulation Protection. Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind as required by Section 120.3(b). Insulation exposed to weather must be water retardant and protected from UV light (no adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, a Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and non-crushable casing or sleeve.
§ 150.0(n)(1):	Gas or Propane Water Heating Systems. Systems using gas or propane water heaters to serve individual dwelling units must include all of the following: A dedicated 125 volt, 20 amp electrical receptacle connected to the electric panel with a 120/240 volt 3 conductor, 10 AWG copper branch circuit, within three feet of the water heater without obstruction. Both ends of the unused conductor must be labeled with the word "spare" and be electrically isolated. Have a reserved single pole circuit breaker space in the electrical panel adjacent to the circuit breaker for the branch circuit and labeled with the words "Future 240V Use"; a Category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed; a condensate drain that is no more than two inches higher than the base of the water heater, and allows natural draining without pump assistance; and a gas supply line with a capacity of at least 200,000 Btu per hour.
§ 150.0(n)(2):	Recirculating Loops. Recirculating loops serving multiple dwelling units must meet the requirements of § 110.3(c)(5).
§ 150.0(n)(3):	Solar Water-Heating Systems. Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing agency that is approved by the Executive Director.
Ducts and Fans Measures:	
§ 110.8(e)(3):	Ducts. Insulation installed on an existing space-conditioning duct must comply with § 604.0 of the California Mechanical Code (CMC), if a contractor installs the insulation, the contractor must certify to the customer, in writing, that the insulation meets this requirement.
§ 150.0(m)(1):	CMC Compliance. All air-distribution system ducts and plenums must meet the requirements of the CMC §§ 601.0, 602.0, 603.0, 604.0, 605.0 and ANSIS/MACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts and plenums must be insulated to a minimum installed level of R-6.0 or a minimum installed level of R-4.2 when ducts are entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3, 1.4.3.8). Portions of the duct system completely exposed and surrounded by directly conditioned space are not required to be insulated. Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct closure system that meets the applicable requirements of UL 181, UL 181A, or UL 181B or aerosol sealant that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than 1/4 inch, the combination of mastic and either mesh or tape must be used. Building cavities, support platforms for air handlers, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used to convey conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platforms must not be compressed to cause reductions in the cross-sectional area.
§ 150.0(m)(2):	Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct construction, connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands.
§ 150.0(m)(3):	Field-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes, mastics, sealants, and other requirements specified for duct construction.
§ 150.0(m)(7):	Backdraft Damper. Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic dampers.
§ 150.0(m)(8):	Gravily Ventilation Dampers. Gravily ventilating systems serving conditioned space must have either automatic or readily accessible, manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents.
§ 150.0(m)(9):	Protection of Insulation. Insulation must be protected from damage, sunlight, moisture, equipment maintenance, and wind. Insulation exposed to weather must be suitable for outdoor service. For example, protected by aluminum, sheet metal, painted canvas, or plastic cover. Cellular foam insulation must be protected as above or painted with a coating that is water retardant and provides shielding from solar radiation.
§ 150.0(m)(10):	Porous Inner Core Flex Duct. Porous inner core flex ducts must have a non-porous layer between the inner core and outer vapor barrier.
§ 150.0(m)(11):	Duct System Sealing and Leakage Test. When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in accordance with § 150.0(m)(11) and Reference Residential Appendix RA3.
§ 150.0(m)(12):	Air Filtration. Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13 or equivalent filters. Filters for space conditioning systems must have a two inch depth or can be one inch if sized per Equation 150.0-A. Pressure drops and labeling must meet the requirements in § 150.0(m)(12). Filters must be accessible for regular service.
§ 150.0(m)(13):	Space Conditioning System Airflow Rate and Fan Efficacy. Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be ≥ 350 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficiency ≥ 0.45 watts per CFM for gas furnace air handlers and ≥ 0.58 watts per CFM for all others. Small duct high velocity systems must provide an airflow ≥ 250 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficiency ≥ 0.62 watts per CFM. Field verification testing is required in accordance with Reference Residential Appendix RA3.3.



2019 Low-Rise Residential Mandatory Measures Summary

§ 150.0(k)(2G):	Interior Switches and Controls. An energy management control system (EMCS) may be used to comply with control requirements if it provides functionality of the specified control according to § 110.9; meets the Installation Certificate requirements of § 130.4; meets the EMCS requirements of § 130.0(e); and meets all other requirements in § 150.0(k)(2).
§ 150.0(k)(2H):	Interior Switches and Controls. A multi-line programmable controller may be used to comply with dimmer requirements in § 150.0(k)(1) if it provides the functionality of a dimmer according to § 110.9, and complies with all other applicable requirements in § 150.0(k)(2).
§ 150.0(k)(2I):	Interior Switches and Controls. In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces must be controlled by an occupant sensor or a vacancy sensor providing automatic-off functionality. If an occupant sensor is installed, it must be initially configured to manual-on operation using the manual control required under Section 150.0(k)(2C).
§ 150.0(k)(2J):	Interior Switches and Controls. Luminaires that are or contain light sources that meet Reference Joint Appendix JA8 requirements for dimming, and that are not controlled by occupancy or vacancy sensors, must have dimming controls.
§ 150.0(k)(2K):	Interior Switches and Controls. Under cabinet lighting must be controlled separately from ceiling-installed lighting systems.
§ 150.0(k)(3A):	Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, must meet the requirement in item § 150.0(k)(3A) (ON and OFF switch) and the requirements in either § 150.0(k)(3A)(i) (photocell and either a motion sensor or automatic time switch control) or § 150.0(k)(3A)(ii) (astronomical time clock), or an EMCS.
§ 150.0(k)(3B):	Residential Outdoor Lighting. For low-rise residential buildings with four or more dwelling units, outdoor lighting for private patios, entrances, balconies, and porches, and residential parking lots and carports with less than eight vehicles per site must comply with either § 150.0(k)(3A) or with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.
§ 150.0(k)(3C):	Residential Outdoor Lighting. For low-rise residential buildings with four or more dwelling units, any outdoor lighting for residential parking lots or carports with a total of eight or more vehicles per site and any outdoor lighting not regulated by § 150.0(k)(3B) or § 150.0(k)(3D) must comply with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.
§ 150.0(k)(4):	Internally illuminated address signs. Internally illuminated address signs must comply with § 140.8; or must consume no more than 5 watts of power as determined according to § 130.0(c).
§ 150.0(k)(5):	Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in Sections 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.
§ 150.0(k)(6A):	Interior Common Areas of Low-rise Multifamily Residential Buildings. In a low-rise multifamily residential building where the total interior common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the interior common areas in that building must be compliant with Table 150.0-A and be controlled by an occupant sensor.
§ 150.0(k)(6B):	Interior Common Areas of Low-rise Multifamily Residential Buildings. In a low-rise multifamily residential building where the total interior common area in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common areas in that building must: <ul style="list-style-type: none"> i. Comply with the applicable requirements in Sections 110.9, 130.0, 130.1, 140.6 and 141.0; and ii. Lighting installed in corridors and stairwells must be controlled by occupant sensors that reduce the lighting power in each space by at least 50 percent. The occupant sensors must be capable of turning the light fully on and off from all designed paths of ingress and egress.
Solar Ready Buildings:	
§ 110.10(a)(1):	Single Family Residences. Single family residences located in subdivisions with 10 or more single family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b) through § 110.10(e).
§ 110.10(a)(2):	Low-rise Multifamily Buildings. Low-rise multi-family buildings that do not have a photovoltaic system installed must comply with the requirements of § 110.10(b) through § 110.10(d).
§ 110.10(b)(1):	Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access, pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other parts of Title 24 or in any requirements adopted by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and no less than 80 square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings with roof areas greater than 10,000 square feet. For single family residences, the solar zone must be located on the roof or overhang of the building and have a total area no less than 250 square feet. For low-rise multi-family buildings the solar zone must be located on the roof or overhang of the building, or on the roof or overhang of another structure located within 250 feet of the building, or on covered parking installed with the building project, and have a total area no less than 15 percent of the total roof area of the building excluding any skylight area. The solar zone requirement is applicable to the entire building, including mixed occupancy.
§ 110.10(b)(2):	Azimuth. All sections of the solar zone located on steep-sloped roofs must be oriented between 90 degrees and 300 degrees of true north.
§ 110.10(b)(3A):	Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment.
§ 110.10(b)(3B):	Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least twice the distance, measured in the horizontal plane, of the height difference between the highest point of the obstruction and the horizontal projection of the nearest point of the solar zone, measured in the vertical plane.
§ 110.10(b)(4):	Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for roof dead load and roof live load must be clearly indicated on the construction documents.
§ 110.10(c):	Interconnection Pathways. The construction documents must indicate a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service, and for single family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.
§ 110.10(d):	Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b) through § 110.10(c) must be provided to the occupant.
§ 110.10(e)(1):	Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.
§ 110.10(e)(2):	Main Electrical Service Panel. The main electrical service panel must have a reserved space to allow for the installation of a double pole circuit breaker for a future solar electric installation. The reserved space must be permanently marked as "For Future Solar Electric".





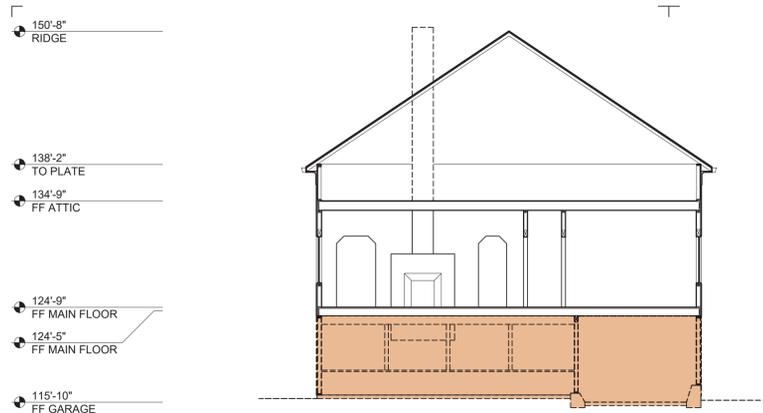
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PROJECT
49 SUNNYSIDE AVE
JOB NUMBER
2022-001
ISSUANCE
PERMIT
DATE
JULY 01, 2022
SCALE
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SITE PHOTOS



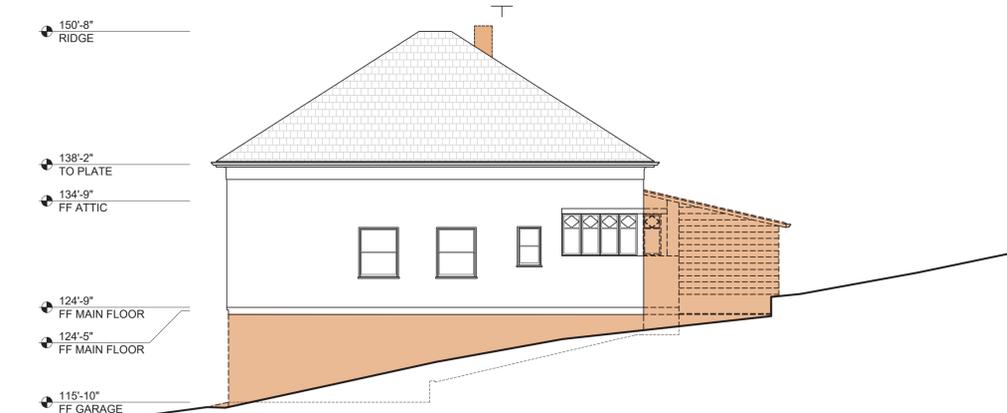
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PROJECT: 49 SUNNYSIDE AVE
JOB NUMBER: 2022-001
ISSUANCE: PERMIT
DATE: JULY 01, 2022
SCALE: 1/8" = 1'-0"
DRAWING NAME: DEMOLITION SITE PLAN & ELEVATIONS

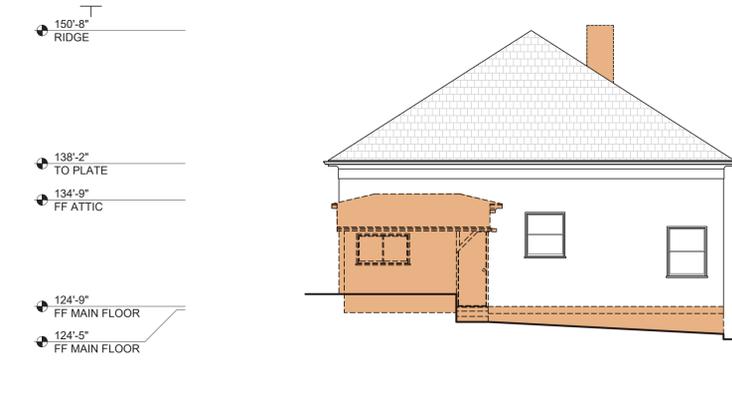
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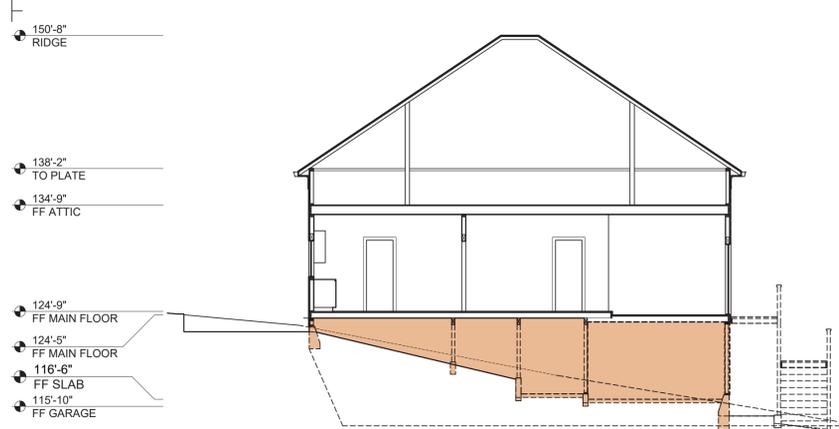
7 SECTION



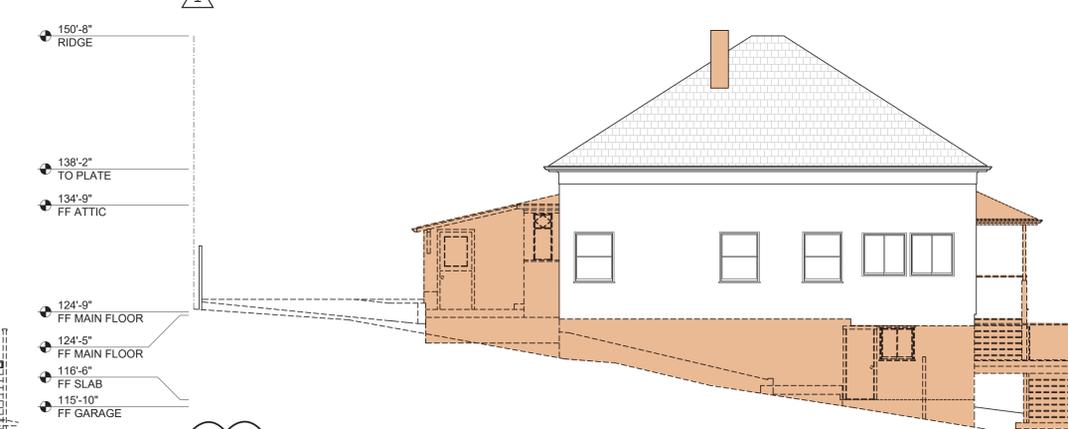
5 NORTH (SIDE) ELEVATION



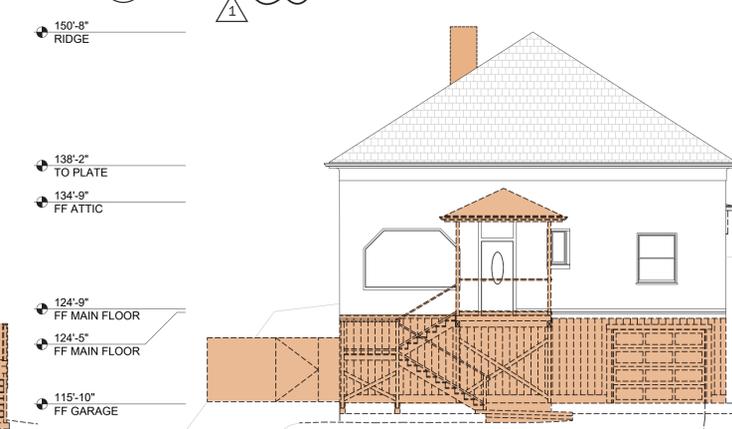
3 WEST (REAR) ELEVATION



6 SECTION



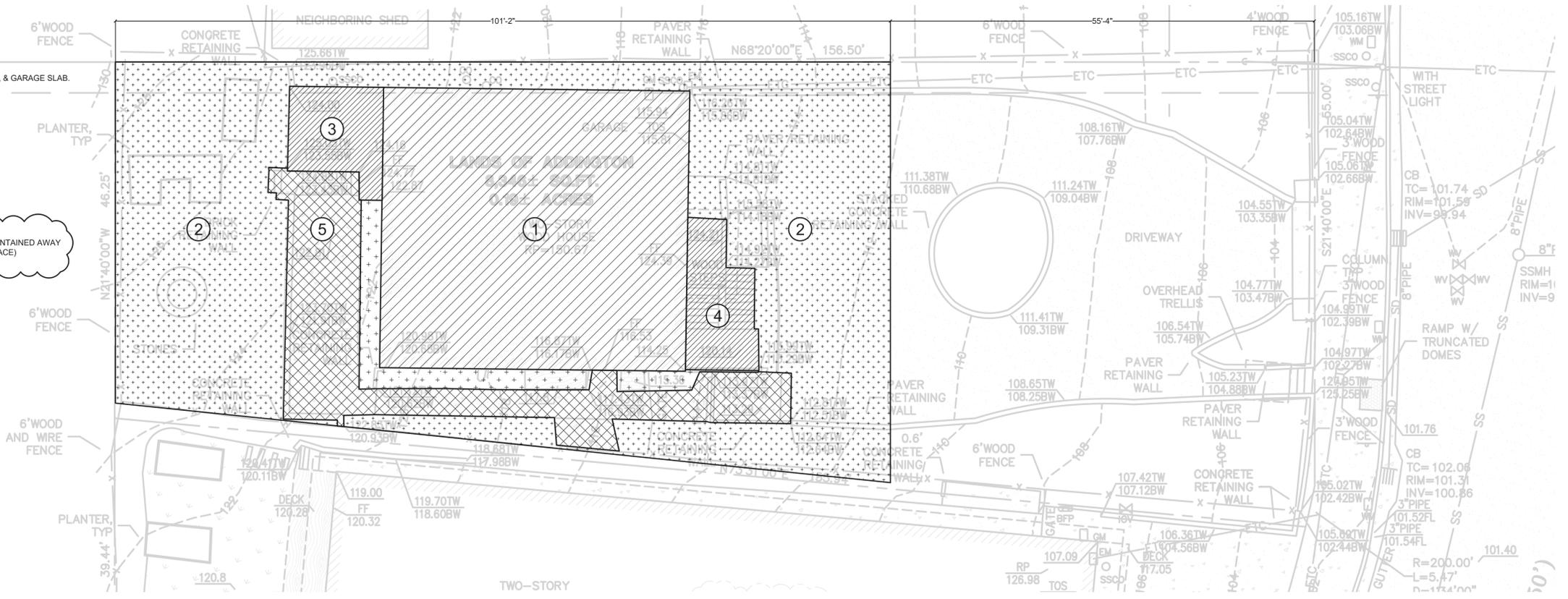
4 SOUTH (SIDE) ELEVATION



2 EAST (FRONT) ELEVATION

- 1 DEMOLISH EXISTING FOUNDATION (FOOTINGS, STEM WALLS, ETC.) & GARAGE SLAB.
- 2 CLEAR AND GRUB YARD. REMOVE BUILT ELEMENTS.
- 3 DEMOLISH LAUNDRY ROOM & PORTION OF BEDROOM.
- 4 DEMOLISH EXTERIOR STAIR AND SUPPORTS.
- 5 DEMOLISH CONCRETE SITE WALKS.

NOTE:
ALL VEGETATION AND CONSTRUCTION MATERIALS ARE TO BE MAINTAINED AWAY FROM THE RESIDENCE DURING CONSTRUCTION. (DEFENSIBLE SPACE)

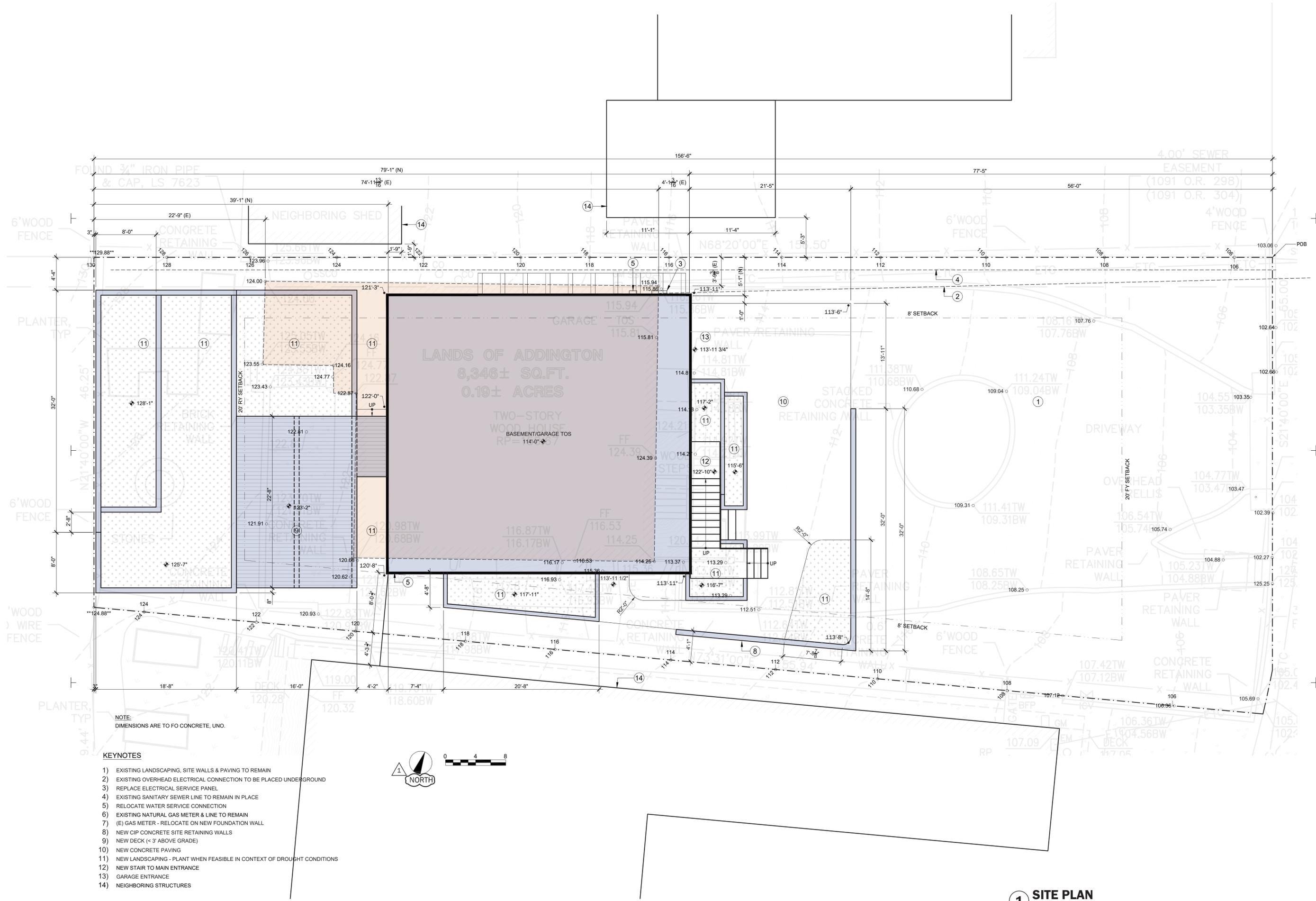


1 SITE PLAN



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PROJECT
49 SUNNYSIDE AVE
JOB NUMBER
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ISSUANCE
PERMIT
DATE
JULY 01, 2022
SCALE
3/16" = 1'-0"
DRAWING NAME
SITE PLAN



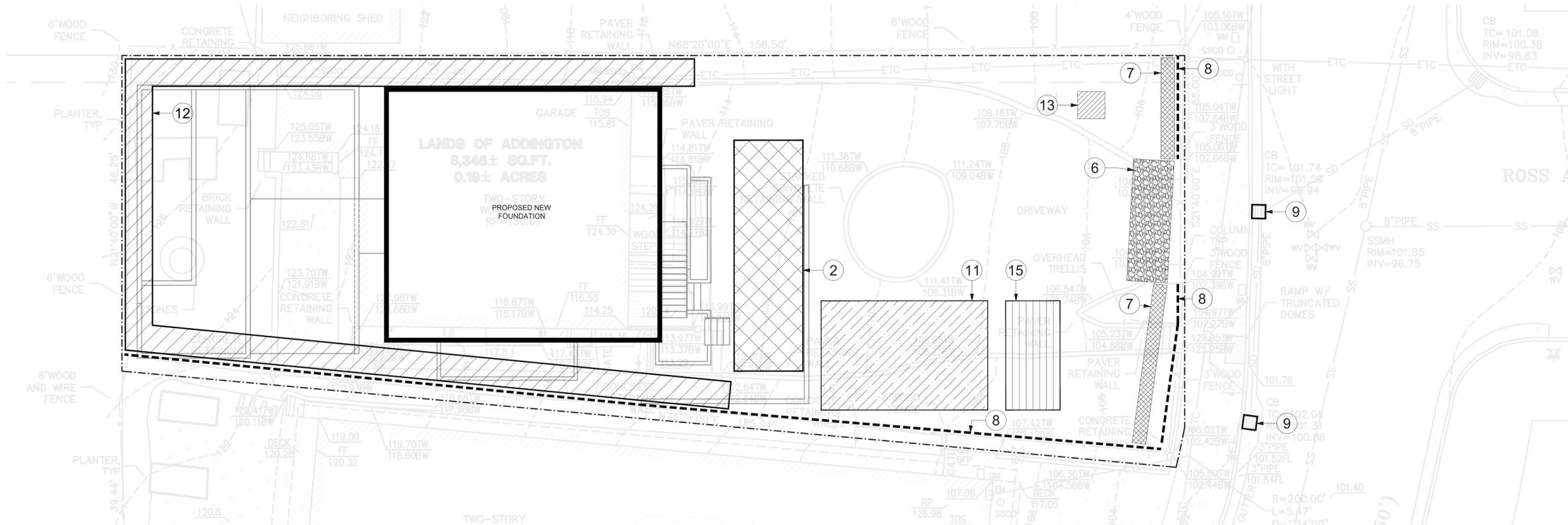
NOTE:
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KEYNOTES

- 1) EXISTING LANDSCAPING, SITE WALLS & PAVING TO REMAIN
- 2) EXISTING OVERHEAD ELECTRICAL CONNECTION TO BE PLACED UNDERGROUND
- 3) REPLACE ELECTRICAL SERVICE PANEL
- 4) EXISTING SANITARY SEWER LINE TO REMAIN IN PLACE
- 5) RELOCATE WATER SERVICE CONNECTION
- 6) EXISTING NATURAL GAS METER & LINE TO REMAIN
- 7) (E) GAS METER - RELOCATE ON NEW FOUNDATION WALL
- 8) NEW CIP CONCRETE SITE RETAINING WALLS
- 9) NEW DECK (< 3' ABOVE GRADE)
- 10) NEW CONCRETE PAVING
- 11) NEW LANDSCAPING - PLANT WHEN FEASIBLE IN CONTEXT OF DROUGHT CONDITIONS
- 12) NEW STAIR TO MAIN ENTRANCE
- 13) GARAGE ENTRANCE
- 14) NEIGHBORING STRUCTURES



1 SITE PLAN

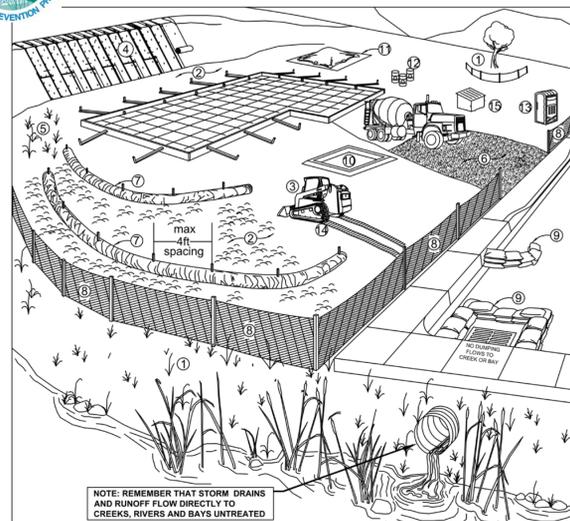


NOTE: NUMBERED CALLOUTS REFERENCE THE CONTROL MEASURES PER MARIN COUNTY STORMWATER POLLUTION PREVENTION PROGRAM.

1 SITE PLAN



Marin County Stormwater Pollution Prevention Program
Minimum Control Measures
For Small Construction Projects



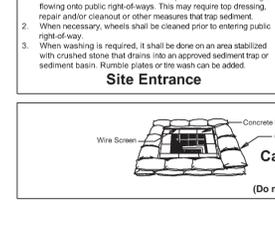
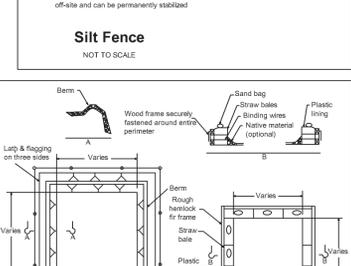
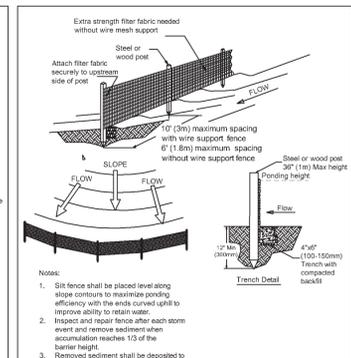
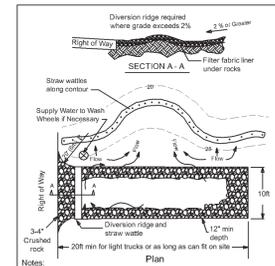
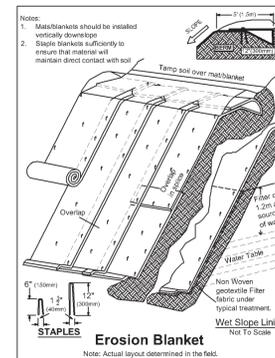
NOTE: REMEMBER THAT STORM DRAINS AND RUNOFF FLOW DIRECTLY TO CREEKS, RIVERS AND BAYS UNTREATED

Erosion Controls			Sediment Controls			Good Housekeeping					
NS	Scheduling	6	Tracking Controls	10	Concrete Washout	1	Preserve Vegetation & Creek Set Backs	7	Fiber Rolls	11	Stockpile Management
2	Soil Cover	8	Silt Fence	12	Hazardous Material Management	2	Soil Preparation/ Roughening	9	Drain Inlet Protection	13	Sanitary Waste Management
3	Erosion Control Blankets	NS	Trench Dewatering	14	Equipment and Vehicle Maintenance	3	Revegetation	15	Litter and Waste Management		

NOTE: Select an effective combination of control measures from each category, Erosion Control, Sediment Control, and Good Housekeeping. Control measures shall be continually implemented and maintained throughout the project until activities are complete, disturbed areas are stabilized with permanent erosion controls, and the local agency has signed off on permits that may have been required for the project. Inspect and maintain the control measures before and after rain events, and as required by the local agency or state permit. More detailed information on the BMPs can be found in the related California Stormwater Quality Association (CASQA) and California Department of Transportation (Caltrans) BMP Factsheets. CASQA factsheets are available by subscription in the California Best Management Practices Handbook Portal. Construction at <http://www.casqa.org>. Caltrans factsheets are available in the Construction Site BMP Manual at <https://dot.ca.gov/programs/construction/storm-water-and-water-pollution-control/manuals-and-handbooks>. Visit www.mcsotopp.org for more information on construction site management and Erosion and Sediment Control Plans.

If you require materials in alternative formats, please contact: 415-473-4381 voice/TTY or disabilityaccess@co.marin.ca.us

Control Measure	General Description
Erosion Control Best Management Practices	
N/A	Scheduling
1	Preserve Existing Vegetation and Creek Setbacks
2	Soil Cover
3	Soil Preparation/ Roughening
4	Erosion Control Blankets
5	Revegetation
Sediment Control Best Management Practices	
6	Tracking Controls
7	Fiber Rolls
8	Silt Fence
9	Drain Inlet Protection
N/A	Trench Dewatering
Good Housekeeping Best Management Practices	
10	Concrete Washout
11	Stockpile Management
12	Hazardous Material Management
13	Sanitary Waste Management
14	Equipment and Vehicle Maintenance
15	Litter and Waste Management



PLAN CHECK - RESPONSE 1

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PROJECT: 49 SUNNYSIDE AVE
ISSUANCE: 2022-001
PERMIT:
DATE: JULY 01, 2022
SCALE: 1/8" = 1'-0"
DRAWING NAME:

STORMWATER POLLUTION BEST MANAGEMENT PRACTICES



PLAN CHECK - RESPONSE 1

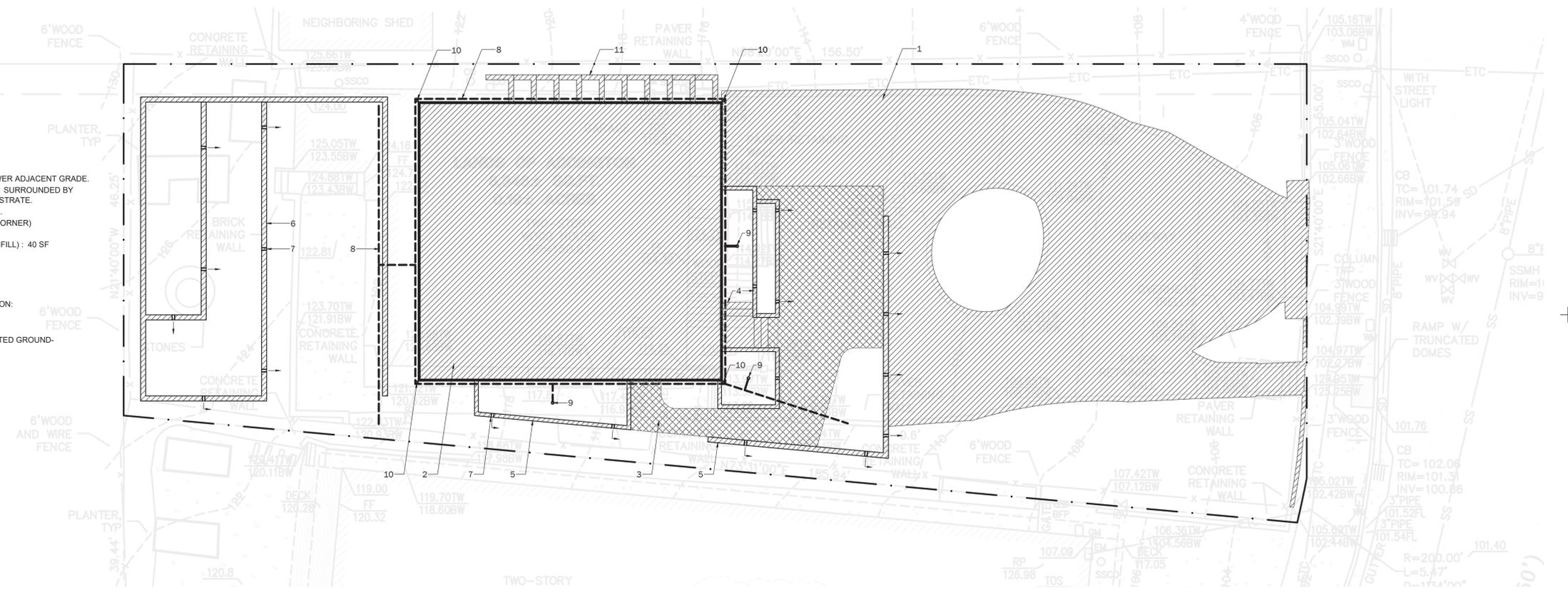
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JOB NUMBER: 2022-001
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DATE: JULY 01, 2022
SCALE: 1/8" = 1'-0"
DRAWING NAME: SITE PLANS DRAINAGE-

- EXISTING ASPHALT PAVEMENT TO REMAIN: 2099 SF
- NEW FOUNDATION/BUILDING FOOTPRINT: 1460 SF
- NEW PERMEABLE CONCRETE PAVERS OVER PERMEABLE MATERIAL BASE: 479 SF.
- NEW PLANTER WALLS & CONCRETE STEPS: 67 SF
- NEW PLANTER WALLS & CONCRETE STEPS: 52 SF
- NEW PLANTER/SITE WALLS: 134 SF
- 4" DIA SLEEVE IN BASE OF WALL. LOCATE AT ELEVATION OF LOWER ADJACENT GRADE.
- PERFORATED DRAIN LINE LOCATED AT BASE OF SLAB/FOOTING. SURROUNDED BY WASHED GRAVEL (3/8" MINUS) AND PREFORMED DRAINAGE SUBSTRATE.
- DRAIN SET IN PLANTER. CONNECT TO PERFORATED DRAIN LINE.
- 3" DIA DOWNSPOUTS FROM GUTTERS ABOVE (1 @ EACH BLDG CORNER) CONNECT TO PERFORATED DRAIN LINE.
- SITE STAIRS (STACKED RR TIES WITH DECOMPOSED GRANITE INFILL) : 40 SF

TOTAL AREA OF IMPERVIOUS SURFACE: 3852 SF
% OF TOTAL SITE AREA: (3852 SF / 8346 SF) : 46.1%

REDUCTION OF IMPERVIOUS SURFACE FROM EXISTING CONDITION:
(4822 SF - 3852 SF) : 970 SF

PORTIONS OF SITE PLAN WITH NO HATCHING REPRESENT PLANTED GROUND-FULLY PERMEABLE SURFACES.

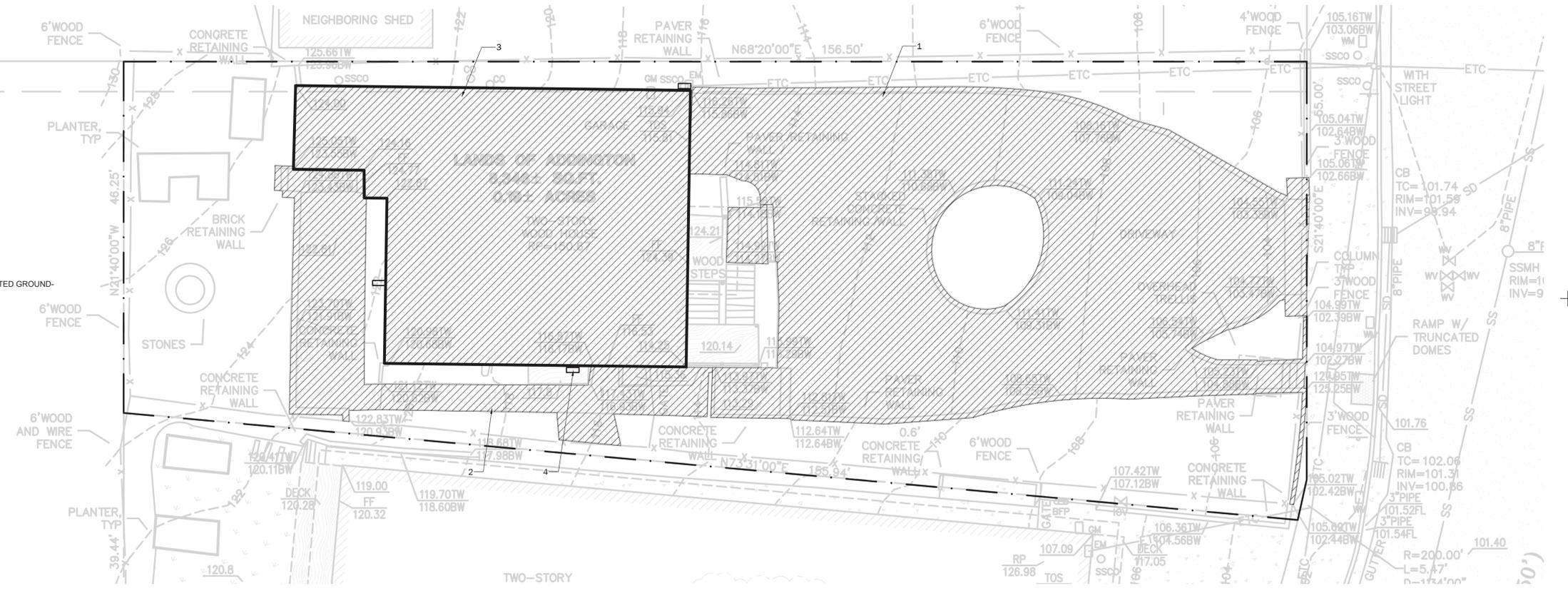


1 SITE DRAINAGE - PROPOSED CONDITION

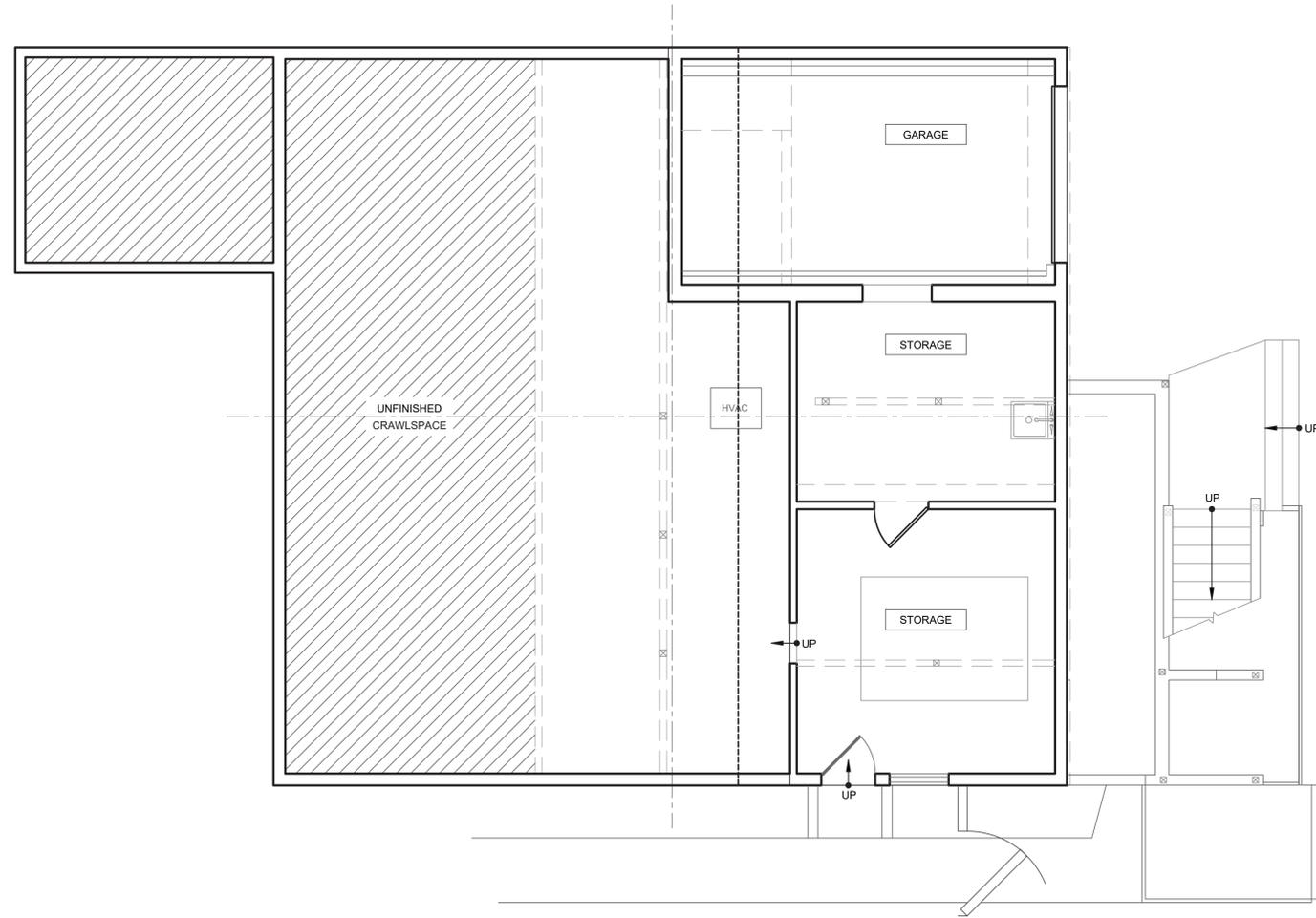
- ASPHALT PAVEMENT: 2705 SF
- CONCRETE WALKWAY/PATIO: 555 SF
- HOUSE FOOTPRINT: 1601 SF
- SPLASH BLOCKS BELOW GUTTER DOWNPIPE.

TOTAL AREA OF IMPERVIOUS SURFACE: 4861 SF
% OF TOTAL SITE AREA: (4861 SF / 8346 SF) : 58.2%

PORTIONS OF SITE PLAN WITH NO HATCHING REPRESENT PLANTED GROUND-FULLY PERMEABLE SURFACES.



1 SITE DRAINAGE - EXISTING CONDITION



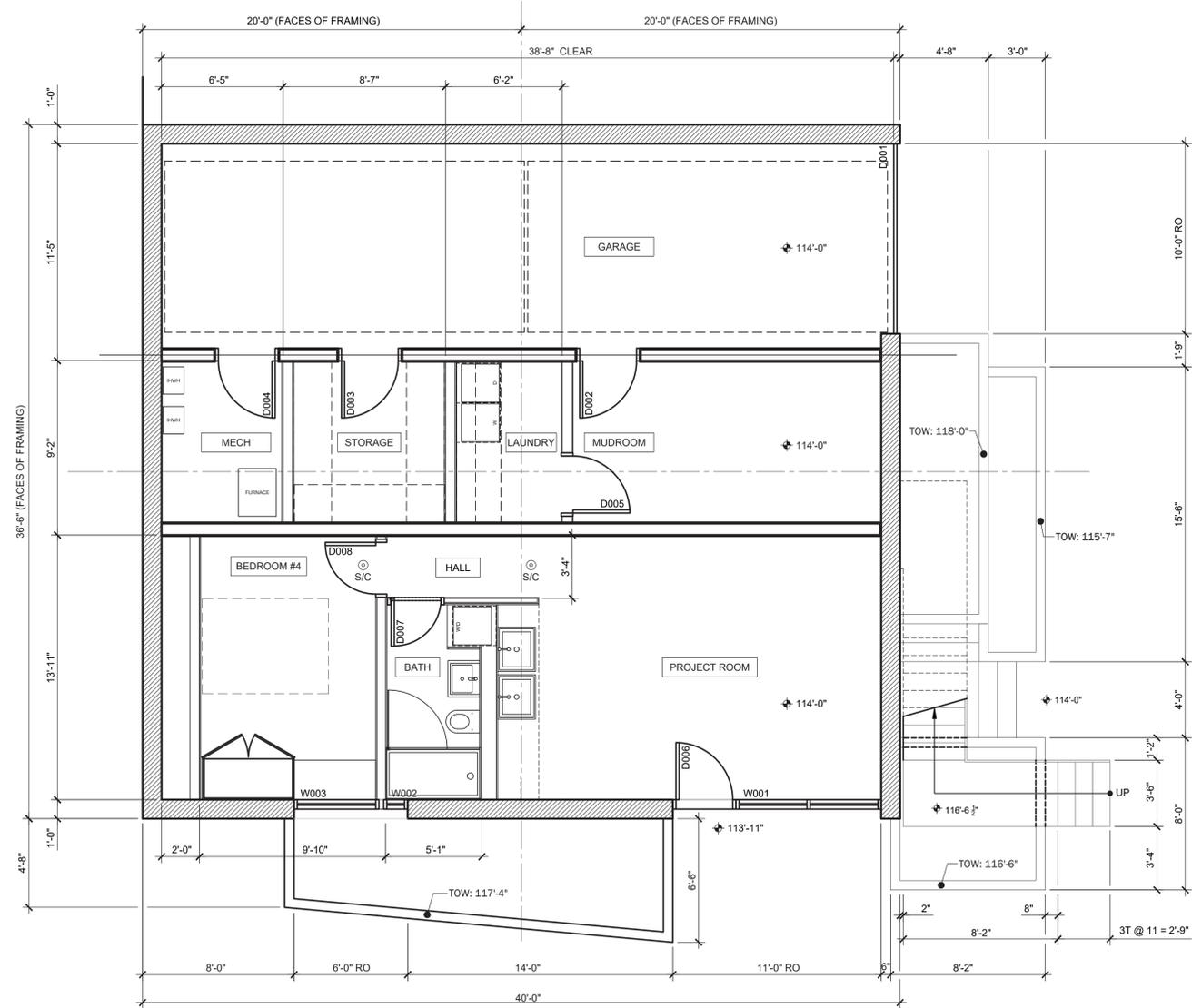
AREA OF MAIN FLOOR (BEFORE DEMOLITION) : 571.1 SF

WINDOW SCHEDULE

MARK	SIZE (RO)		LOCATION	DESCRIPTION	TEMPERED	QTY	U-FACTOR	SHGC
	WIDTH	HEIGHT						
W001	7'-6"	7'-8"	PROJECT ROOM	ANDERSEN E-SERIES	Y	1	.30	.25
W002	1'-3"	4'-8"	BATH	ANDERSEN E-SERIES	Y	1	.30	.25
W003	4'-6"	4'-8"	BEDROOM #4	ANDERSEN E-SERIES	N	1	.30	.25

DOOR SCHEDULE

MARK	SIZE (RO)		LOCATION	DESCRIPTION	RATING	QTY	U-FACTOR	HARDWARE GROUP
	WIDTH	HEIGHT						
D001	10'-0"	7'-0"	GARAGE	OVERHEAD DOOR	-	1	.06	-
D002	1'-3"	7'-0"	MUDROOM	STEEL DOOR & FRAME	20-MIN	1	-	01
D003	3'-4"	7'-0"	STORAGE	STEEL DOOR & FRAME	20-MIN	1	-	02
D004	3'-4"	7'-0"	MECHANICAL	STEEL DOOR & FRAME	20-MIN	1	-	03
D005	3'-4"	7'-0"	LAUNDRY	SOLID WOOD	-	1	-	03
D006	3'-4"	8'-0"	PROJECT ROOM	ANDERSEN E-SERIES	-	1	.25	04
D007	3'-0"	7'-0"	BATH #4	SOLID WOOD	-	1	-	05
D008	3'-0"	7'-0"	BEDROOM #4	SOLID WOOD	-	1	-	05



AREA OF LOWER FLOOR : 1449.8 SF

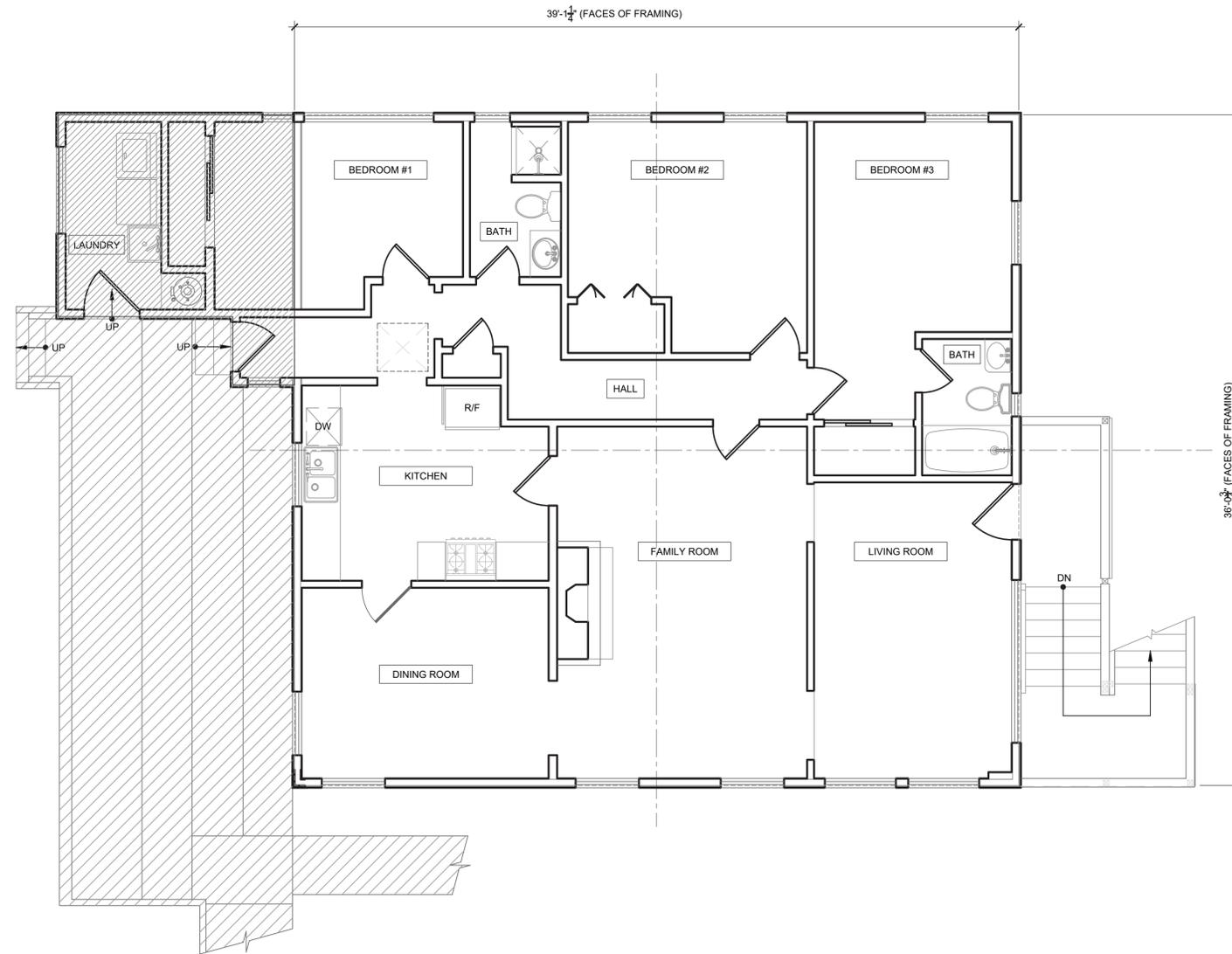
KEY
 1. COMBINED CARBON MONOXIDE/SMOKE ALARM PER REQUIREMENTS OF CALIFORNIA RESIDENTIAL CODE, SECTIONS R314 AND R315. MOUNTED ON CEILING, UNO.

NOTE:
 DIMENSIONS ARE TO FACE OF FRAMING, UNO.



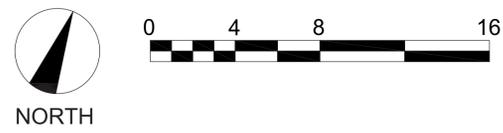
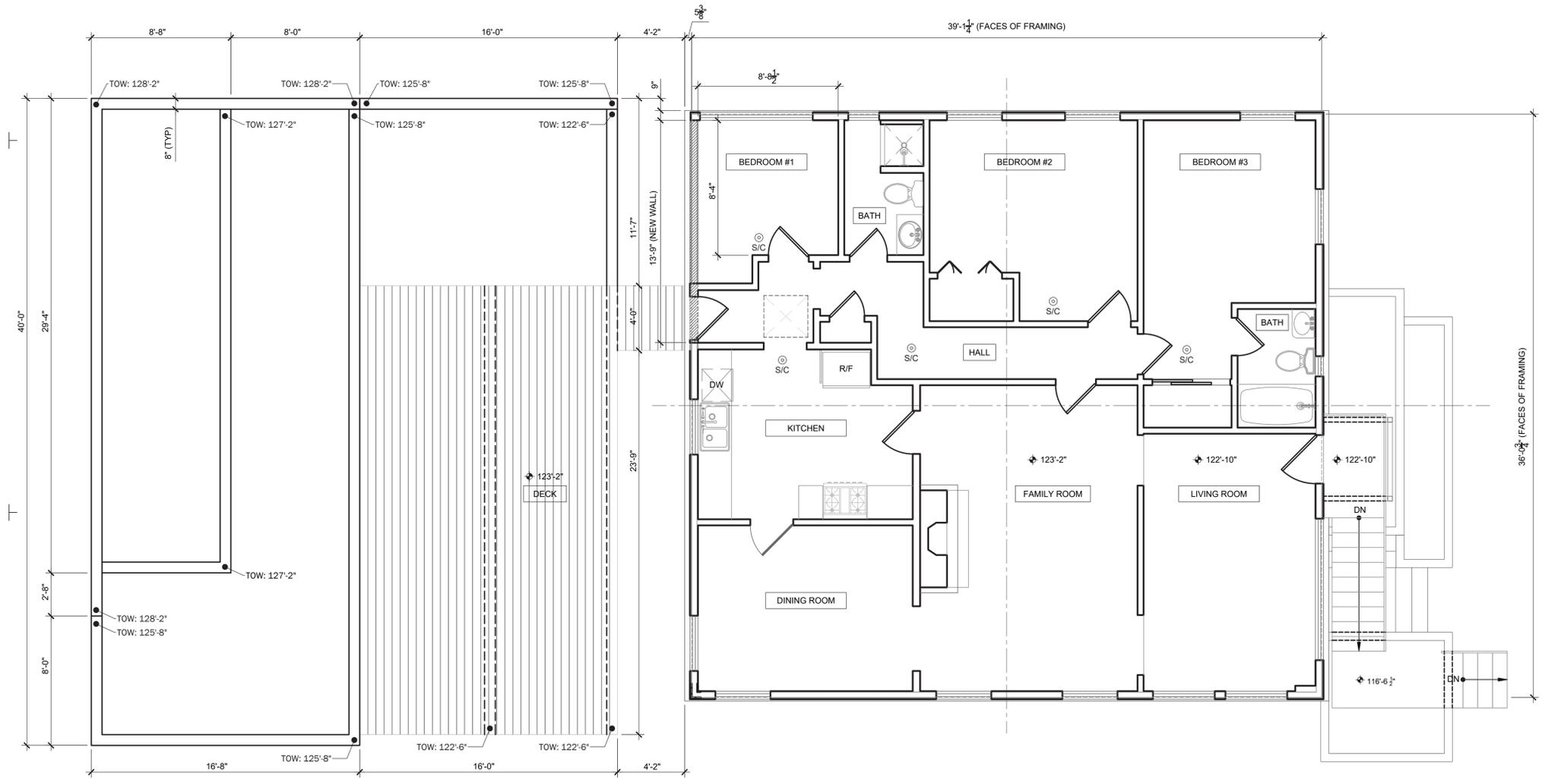
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 CLIENT: PHILLIPS/McCUNE
 PROJECT: 49 SUNNYSIDE AVE
 JOB NUMBER: 2022-001
 ISSUANCE: PERMIT
 DATE: JULY 01, 2022
 SCALE: 1/4" = 1'-0"
 DRAWING NAME: FLOOR PLAN BASEMENT/GARAGE - NEW



AREA OF MAIN FLOOR (BEFORE DEMOLITION) : 1560.9 SF
AREA OF MAIN FLOOR (REMAINING AFTER DEMOLITION) : 1410.3 SF

DRAWN BY
AJM
CHECKED BY
AJM
FILE NAME
49Sunnyside_01.dwg
CLIENT
PHILLIPS/McCUNE
PROJECT
49 SUNNYSIDE AVE
JOB NUMBER
2022-001
ISSUANCE
PERMIT
DATE
JULY 01, 2022
SCALE
1/4" = 1'-0"
DRAWING NAME
FLOOR PLAN
LEVEL ONE -
EXISTING



NOTE:
DIMENSIONS ARE TO FACE OF FRAMING, UNO.

AREA OF MAIN FLOOR (REMAINING AFTER DEMOLITION) : 1410.3 SF

KEY

1. S/C COMBINED CARBON MONOXIDE/SMOKE ALARM PER REQUIREMENTS OF CALIFORNIA RESIDENTIAL CODE, SECTIONS R314 AND R315. MOUNTED ON CEILING, UNO.

- 150'-8" RIDGE
- 138'-2" TO PLATE
- 134'-9" FF ATTIC
- 124'-9" FF MAIN FLOOR
- 124'-5" FF MAIN FLOOR
- 116'-6" FF SLAB
- 115'-10" FF GARAGE

- 149'-1 1/2" MAX. HEIGHT (EXISTING)
- 149'-1" RIDGE (NEW)
- 148'-0" MAX. HEIGHT (NEW)

- 136'-7" TO PLATE
- 133'-2" FF ATTIC

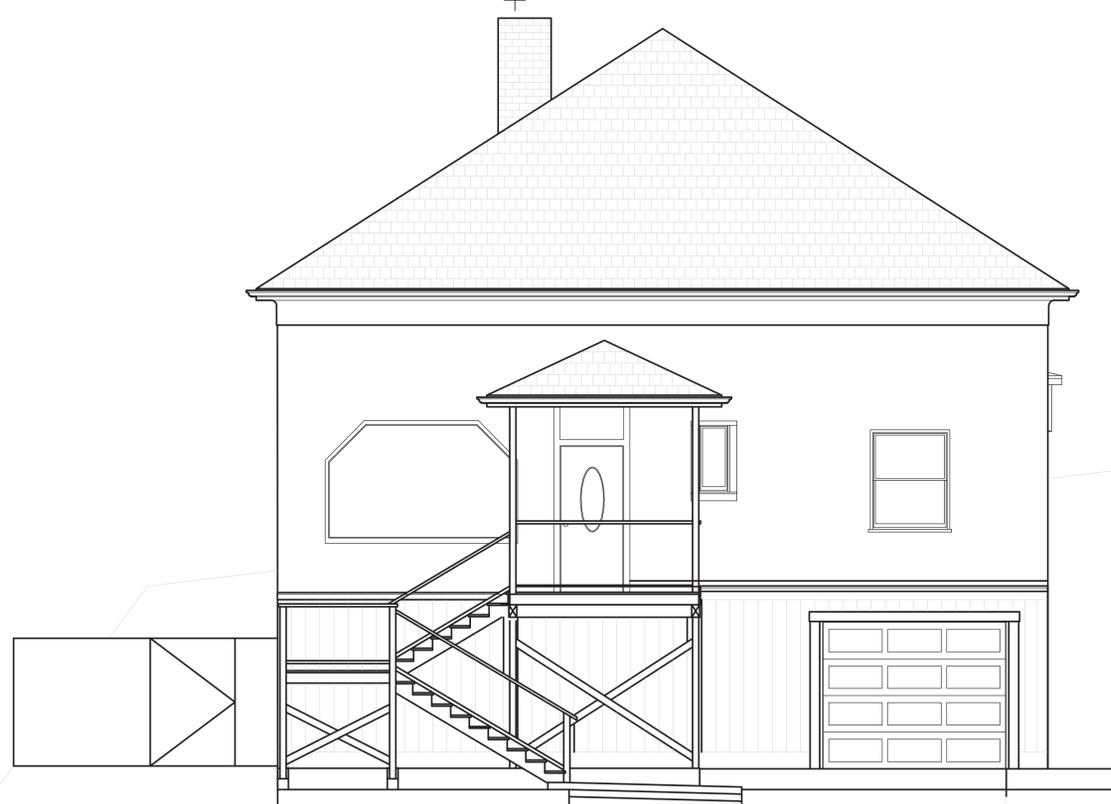
- 128'-2" TO WALL

- 123'-2" FF MAIN FLOOR
- 122'-10" FF MAIN FLOOR

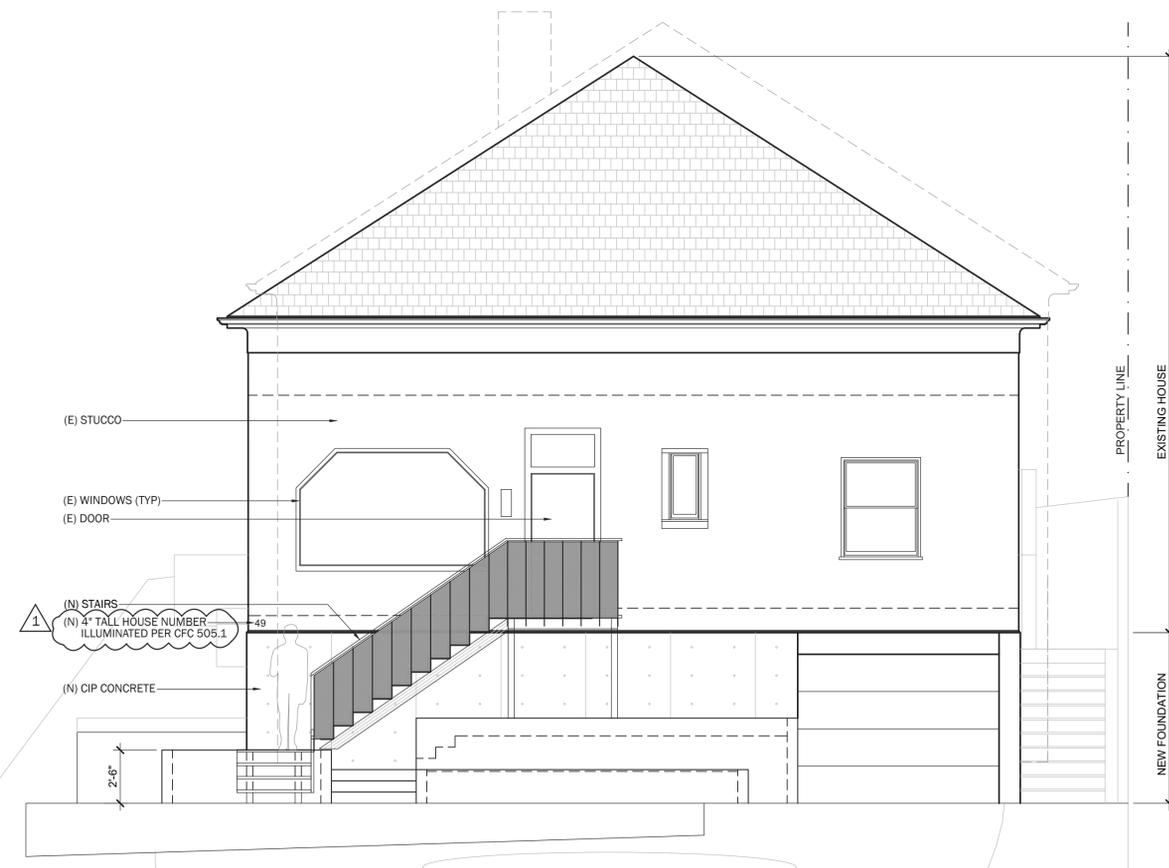
- 117'-2" TO ENTRY LANDING

- 114'-0" FF GARAGE

PROPERTY LINE



2 EAST ELEVATION (FRONT) - EXISTING CONDITION



1 EAST ELEVATION (FRONT) - PROPOSED CONDITION



PLAN CHECK - RESPONSE 1

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 FILE NAME: 49Sunnyside_01.dwg
 CLIENT: PHILLIPS/McCUNE
 PROJECT: 49 SUNNYSIDE AVE
 JOB NUMBER: 2022-001
 ISSUANCE: PERMIT
 DATE: JULY 01, 2022
 SCALE: 1/4" = 1'-0"
 DRAWING NAME: EAST ELEVATIONS



PLAN CHECK - RESPONSE 1

DRAWN BY
AIM
CHECKED BY
AIM
FILE NAME
49Sunnyside_01.dwg
CLIENT
PHILLIPS/McCUNE
PROJECT
49 SUNNYSIDE AVE
JOB NUMBER
2022-001
ISSUANCE
PERMIT
DATE
JULY 01, 2022
SCALE
1/4" = 1'-0"
DRAWING NAME
SOUTH ELEVATIONS

SHEET NUMBER
A2.010

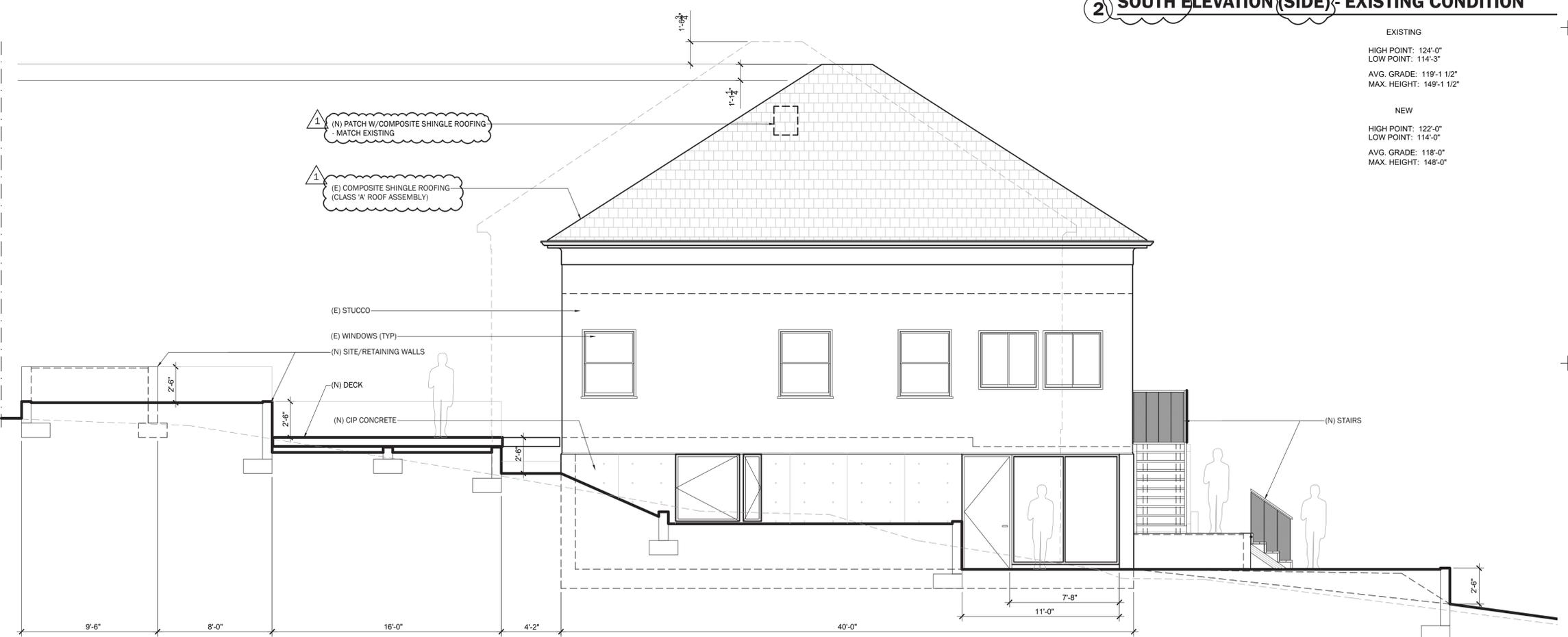
- 150'-8" RIDGE
- 138'-2" TO PLATE
- 134'-9" FF ATTIC
- 124'-9" FF MAIN FLOOR
- 124'-5" FF MAIN FLOOR
- 116'-6" FF SLAB
- 115'-10" FF GARAGE



2 SOUTH ELEVATION (SIDE) - EXISTING CONDITION

EXISTING	NEW
HIGH POINT: 124'-0"	HIGH POINT: 122'-0"
LOW POINT: 114'-3"	LOW POINT: 114'-0"
AVG. GRADE: 119'-1 1/2"	AVG. GRADE: 118'-0"
MAX. HEIGHT: 149'-1 1/2"	MAX. HEIGHT: 148'-0"

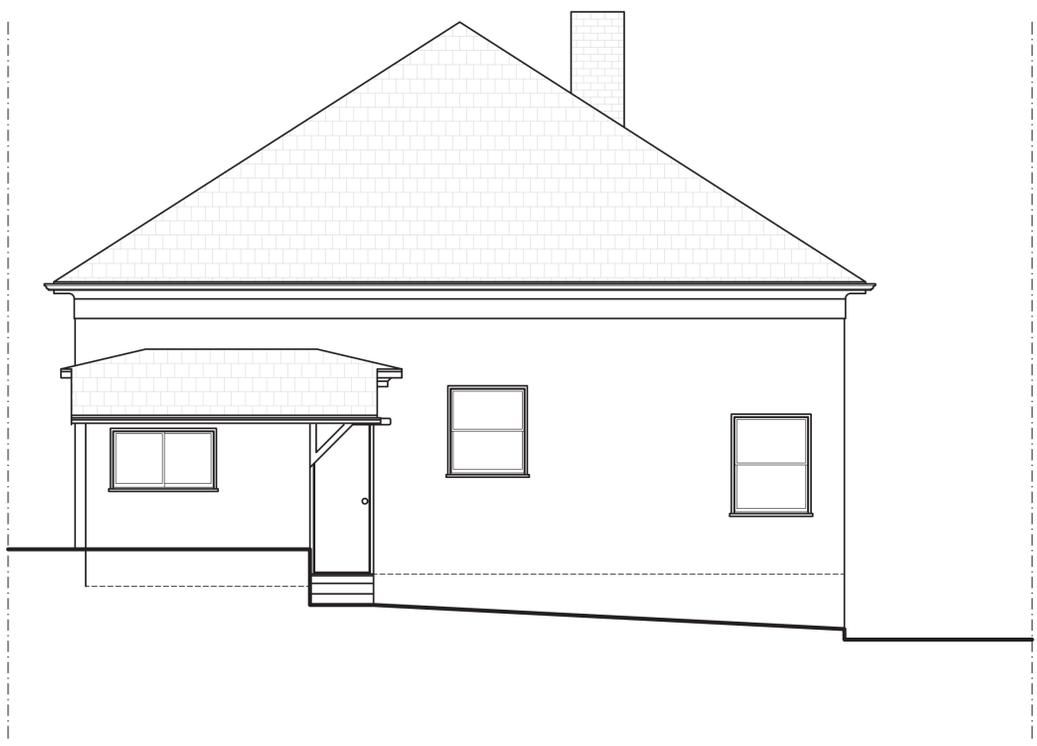
- RIDGE PEAK (EXISTING)
- 149'-1 1/2" MAX. HEIGHT (EXISTING)
- 149'-1" RIDGE (NEW)
- 148'-0" MAX. HEIGHT (NEW)
- 136'-7" TO PLATE
- 133'-2" FF ATTIC
- 128'-2" TO WALL
- 125'-8" TO WALL
- 123'-2" FF MAIN FLOOR
- 122'-10" FF MAIN FLOOR
- 117'-2" TO ENTRY LANDING
- 114'-0" FF GARAGE



1 SOUTH ELEVATION (SIDE) - PROPOSED CONDITION

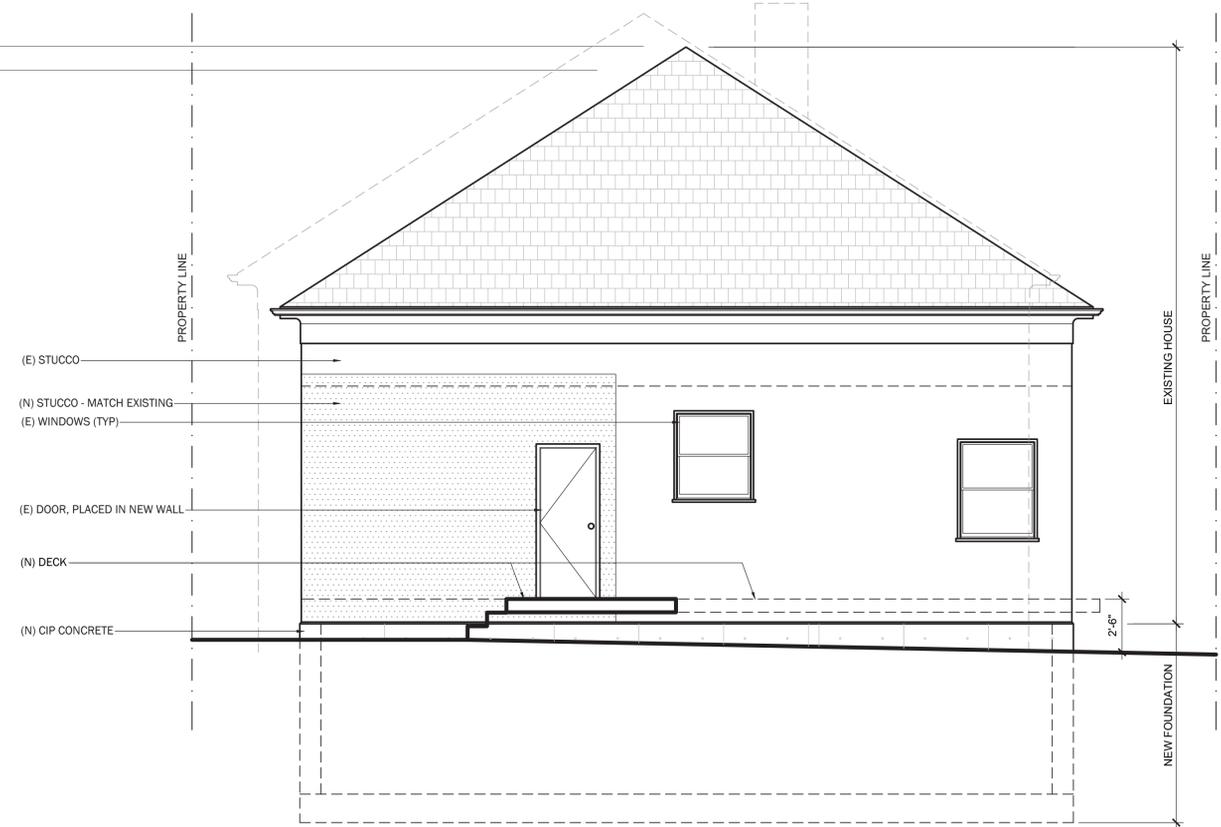


- 150'-8" RIDGE
- 138'-2" TO PLATE
- 134'-9" FF ATTIC
- 124'-9" FF MAIN FLOOR
- 124'-5" FF MAIN FLOOR
- 115'-10" FF GARAGE



2 WEST ELEVATION (REAR) - EXISTING CONDITION

- 150'-8" RIDGE (EXISTING)
- 149'-1 1/2" MAX. HEIGHT (EXISTING)
- 149'-1" RIDGE (NEW)
- 148'-0" MAX. HEIGHT (NEW) PER SACMC 10-3.404
- 136'-7" TO PLATE
- 133'-2" FF ATTIC
- 123'-2" FF MAIN FLOOR & DECK
- 114'-0" FF GARAGE



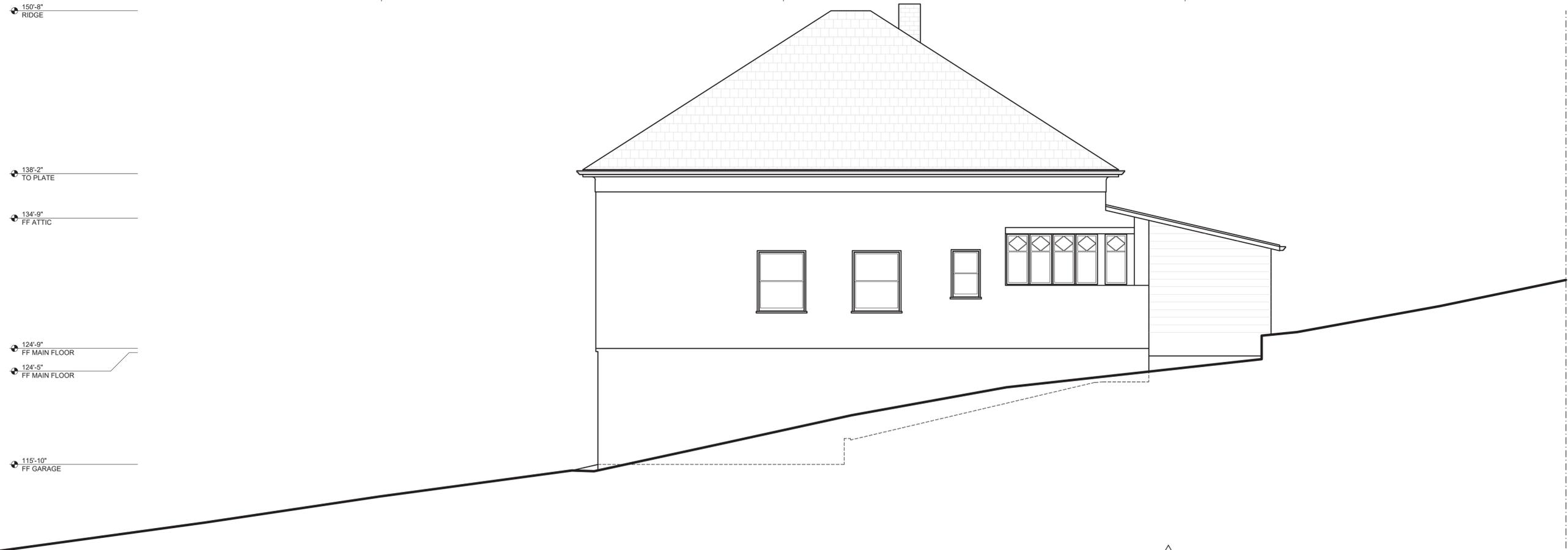
1 WEST ELEVATION (REAR) - PROPOSED CONDITION

- 150'-8" RIDGE
- 138'-2" TO PLATE
- 134'-9" FF ATTIC
- 124'-9" FF MAIN FLOOR
- 124'-5" FF MAIN FLOOR
- 115'-10" FF GARAGE

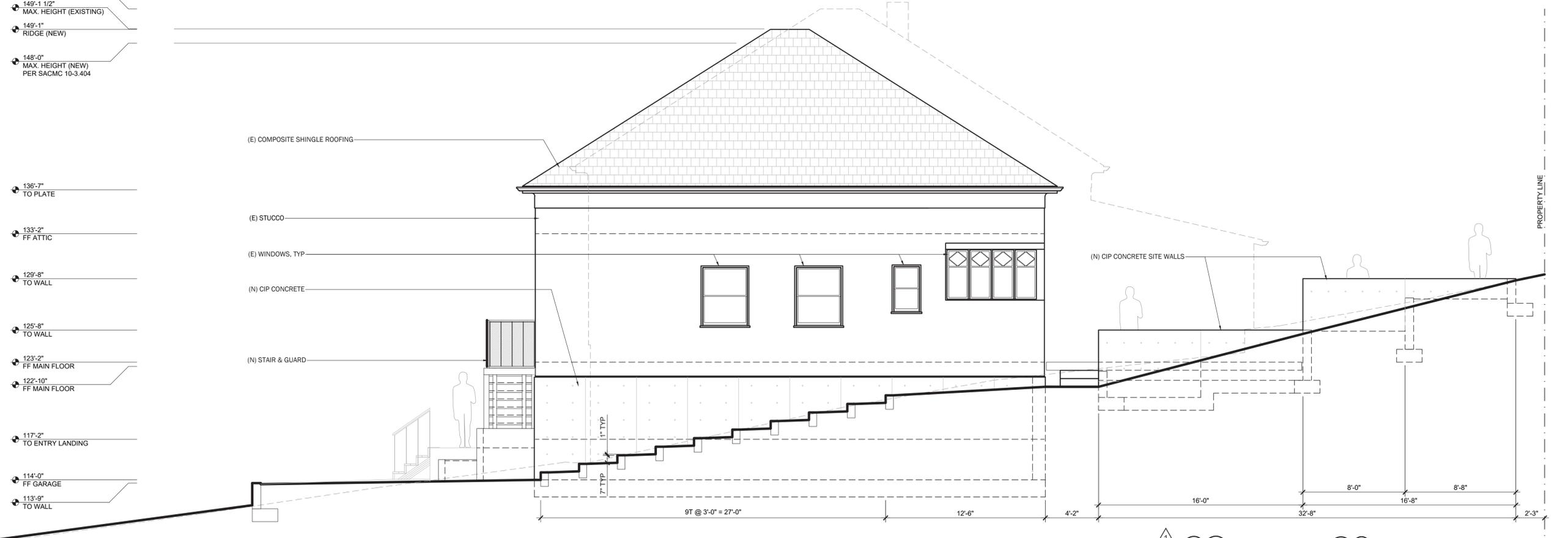
- 150'-8" RIDGE (EXISTING)
- 149'-1 1/2" MAX. HEIGHT (EXISTING)
- 149'-1" RIDGE (NEW)
- 148'-0" MAX. HEIGHT (NEW) PER SACMC 10-3.404

- 136'-7" TO PLATE
- 133'-2" FF ATTIC
- 129'-8" TO WALL
- 125'-8" TO WALL
- 123'-2" FF MAIN FLOOR
- 122'-10" FF MAIN FLOOR
- 117'-2" TO ENTRY LANDING
- 114'-0" FF GARAGE
- 113'-9" TO WALL

- (E) COMPOSITE SHINGLE ROOFING
- (E) STUCCO
- (E) WINDOWS, TYP
- (N) CIP CONCRETE
- (N) STAIR & GUARD



2 NORTH ELEVATION (SIDE) - EXISTING CONDITION



1 NORTH ELEVATION (SIDE) - PROPOSED CONDITION



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FILE NAME: 49Sunnyside_01.dwg
CLIENT: PHILLIPS/McCUNE
PROJECT: 49 SUNNYSIDE AVE
JOB NUMBER: 2022-001
ISSUANCE: PERMIT
DATE: JULY 01, 2022
SCALE: 1/4" = 1'-0"
DRAWING NAME: NORTH ELEVATIONS

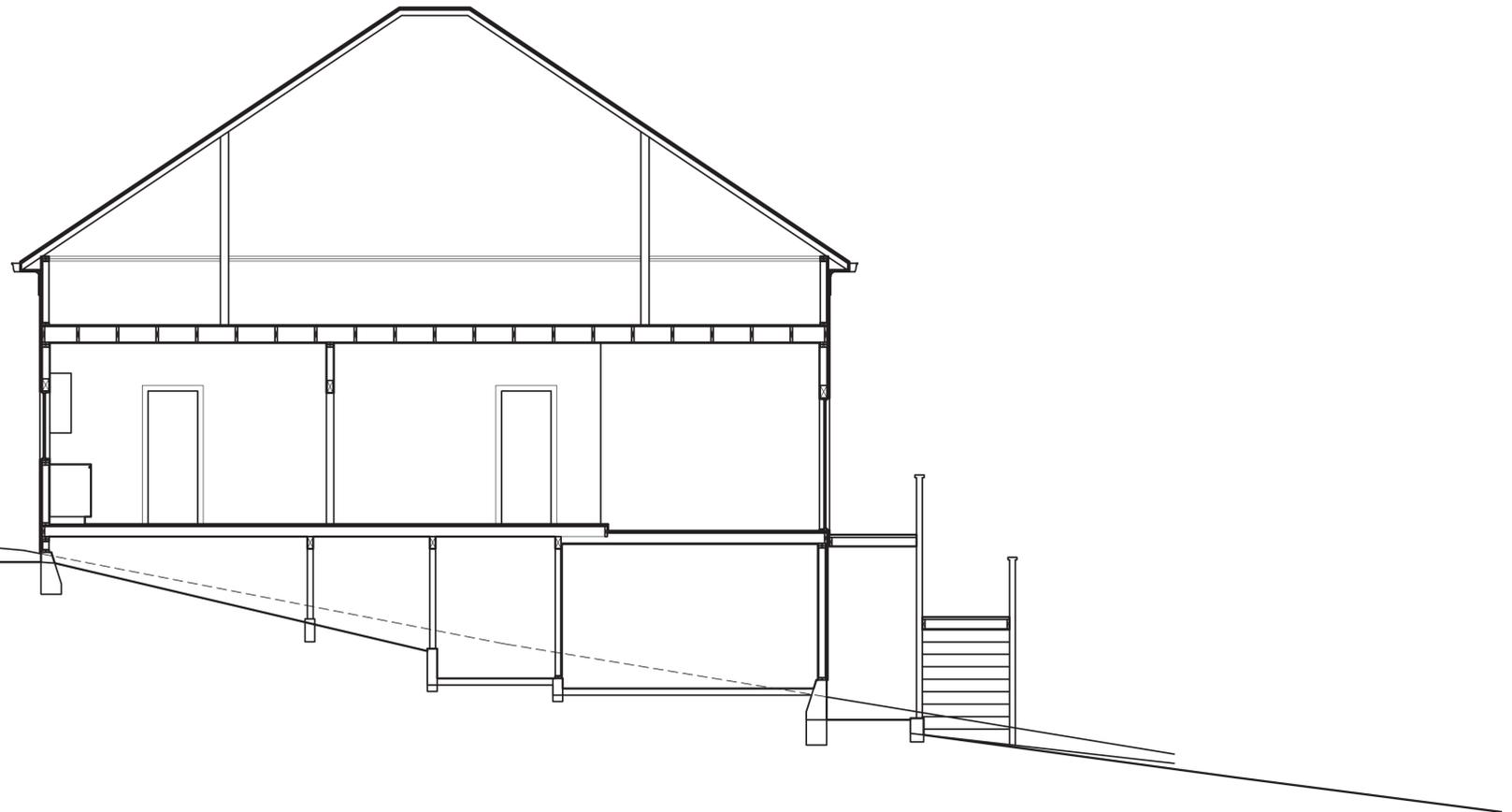


PLAN CHECK - RESPONSE 1

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FILE NAME: 49Sunnyside_01.dwg
CLIENT: PHILLIPS/McCUNE
PROJECT: 49 SUNNYSIDE AVE
JOB NUMBER: 2022-001
ISSUANCE: PERMIT
DATE: JULY 01, 2022
SCALE: 1/4" = 1'-0"
DRAWING NAME: SITE & BUILDING SECTIONS

SHEET NUMBER: A3.000

- 150'-8" RIDGE
- 138'-2" TO PLATE
- 134'-9" FF ATTIC
- 124'-9" FF MAIN FLOOR
- 124'-5" FF MAIN FLOOR
- 116'-6" FF SLAB
- 115'-10" FF GARAGE

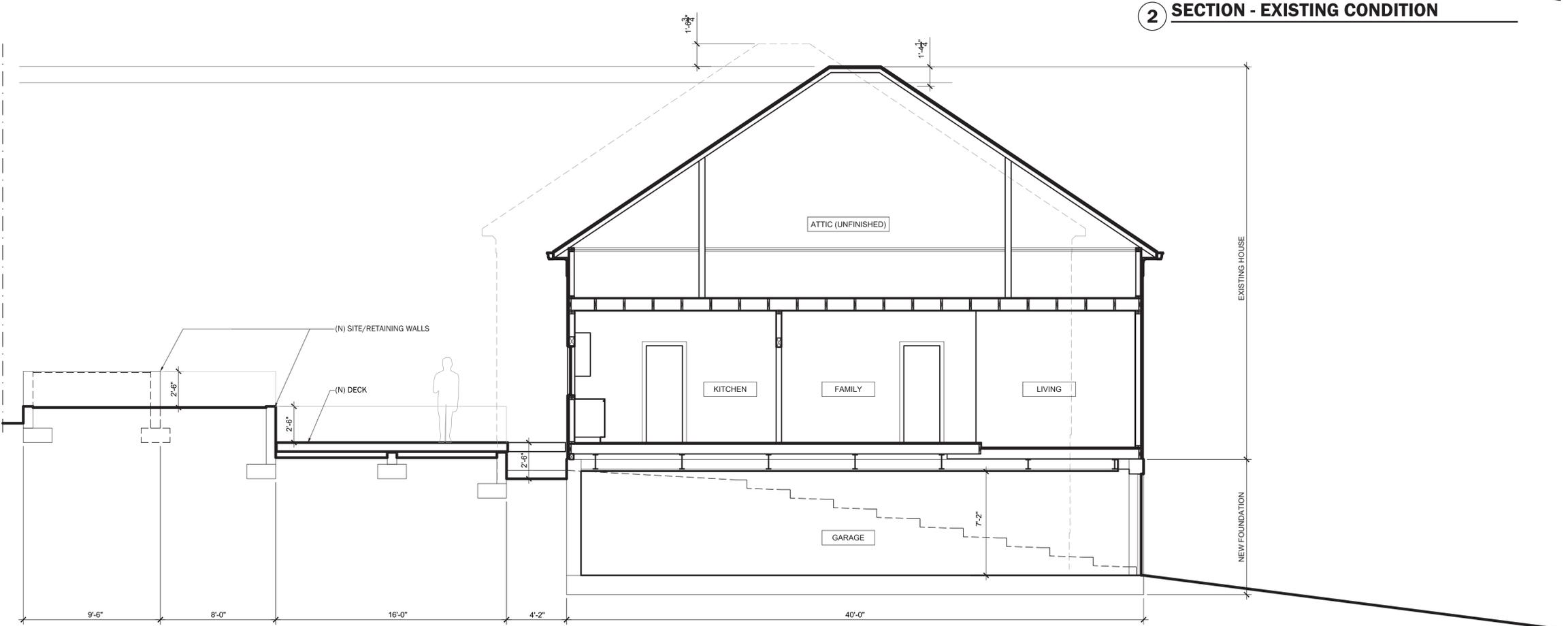


2 SECTION - EXISTING CONDITION

- 150'-8" RIDGE PEAK (EXISTING)
- 149'-1 1/2" MAX. HEIGHT (EXISTING)
- 149'-1" RIDGE (NEW)
- 148'-0" MAX. HEIGHT (NEW)
- 136'-7" TO PLATE
- 133'-2" FF ATTIC
- 128'-2" TO WALL
- 125'-8" TO WALL
- 123'-2" FF MAIN FLOOR
- 122'-10" FF MAIN FLOOR
- 114'-0" FF GARAGE

25'-11"
35'-1"
9'-2"

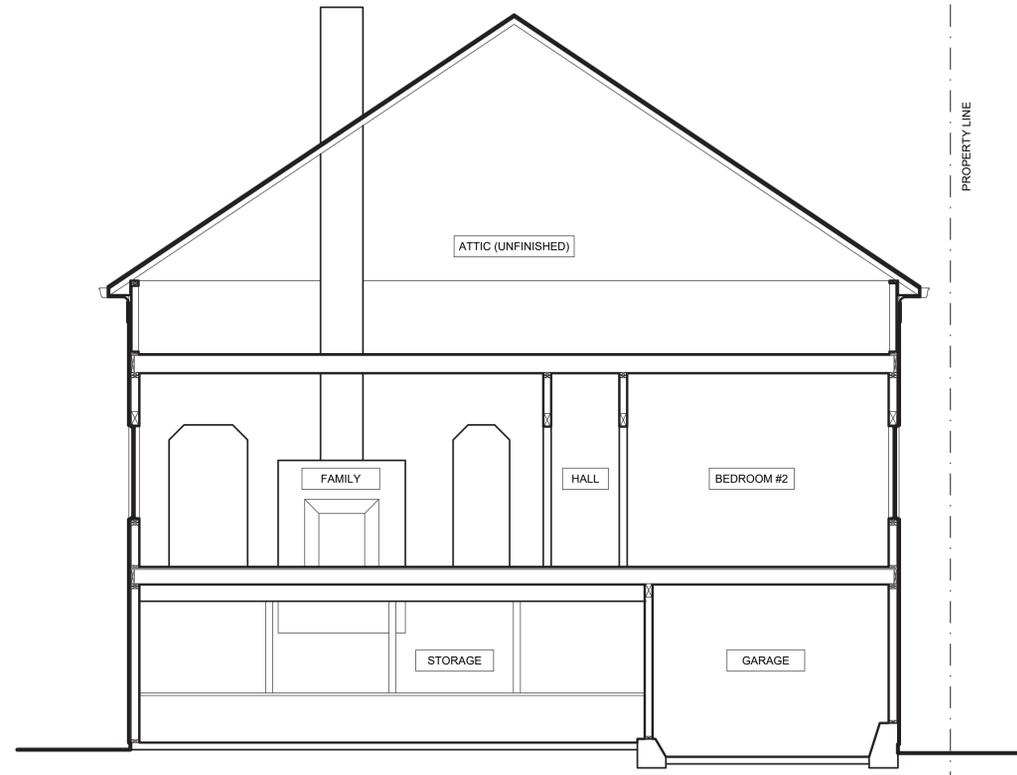
REAR PROPERTY LINE



1 SECTION - PROPOSED CONDITION

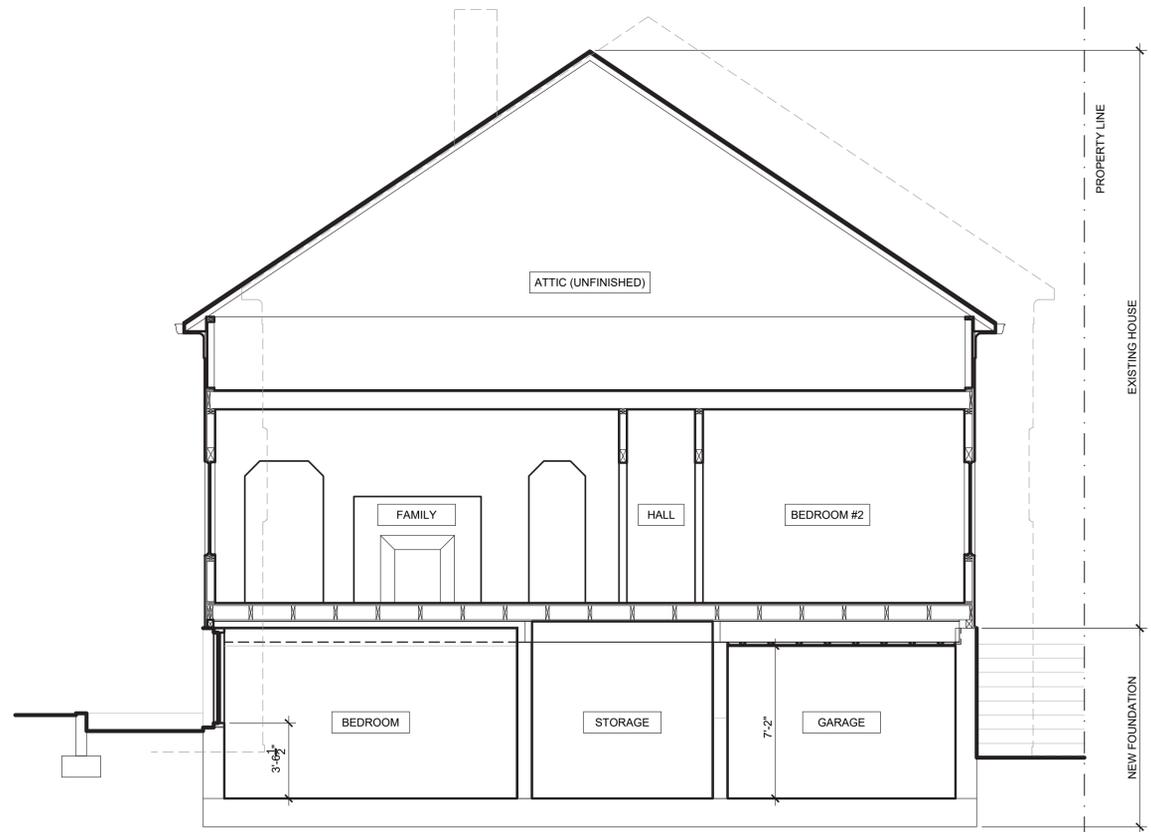


- 150'-8" RIDGE
- 138'-2" TO PLATE
- 134'-9" FF ATTIC
- 124'-9" FF MAIN FLOOR
- 124'-5" FF MAIN FLOOR
- 116'-8" FF SLAB
- 115'-10" FF GARAGE

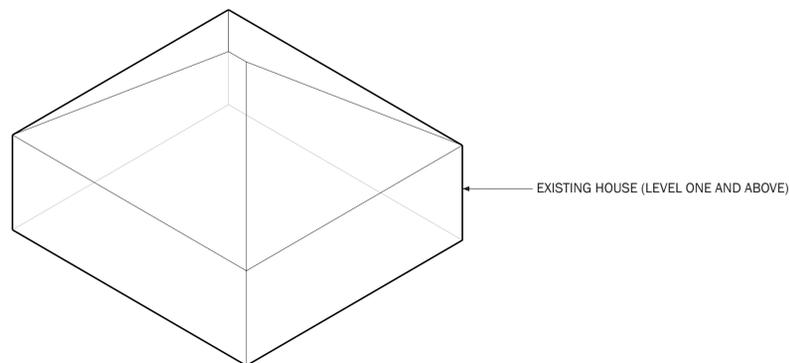


2 SECTION - EXISTING CONDITION

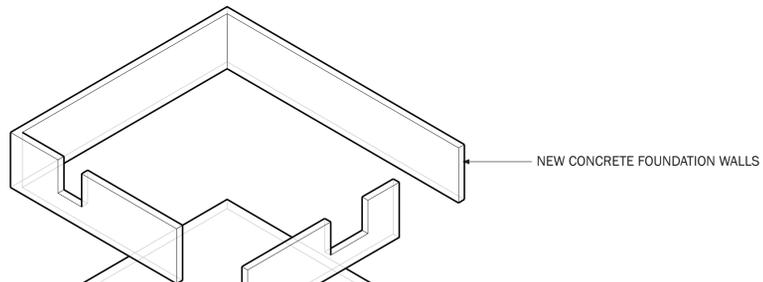
- 150'-8" RIDGE PEAK (EXISTING)
- 149'-1 1/2" MAX. HEIGHT (EXISTING)
- 149'-1" RIDGE (NEW)
- 148'-0" MAX. HEIGHT (NEW)
- 25'-11" (Overall height from FF Garage to New Ridge)
- 35'-4" (Overall height from FF Garage to Existing Ridge)
- 136'-7" TO PLATE
- 133'-2" FF ATTIC
- 128'-2" TO WALL
- 125'-8" TO WALL
- 123'-2" FF MAIN FLOOR
- 122'-10" FF MAIN FLOOR
- 114'-0" FF GARAGE



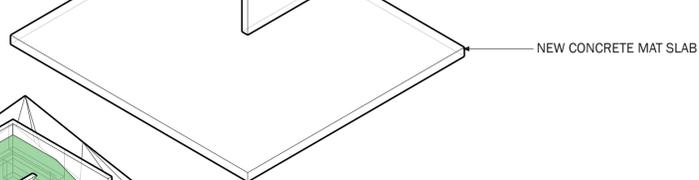
1 SECTION - PROPOSED CONDITION



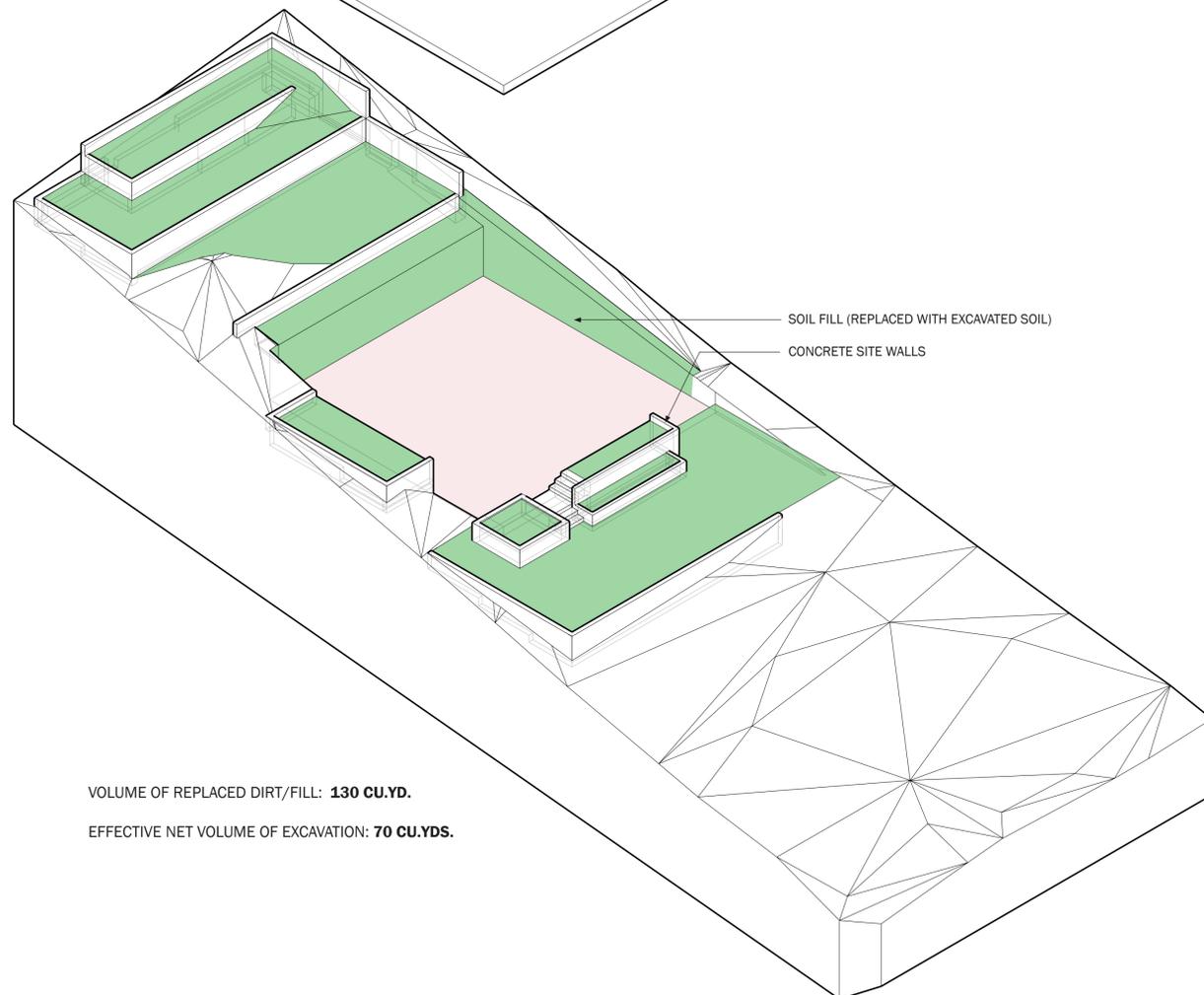
EXISTING HOUSE (LEVEL ONE AND ABOVE)



NEW CONCRETE FOUNDATION WALLS



NEW CONCRETE MAT SLAB



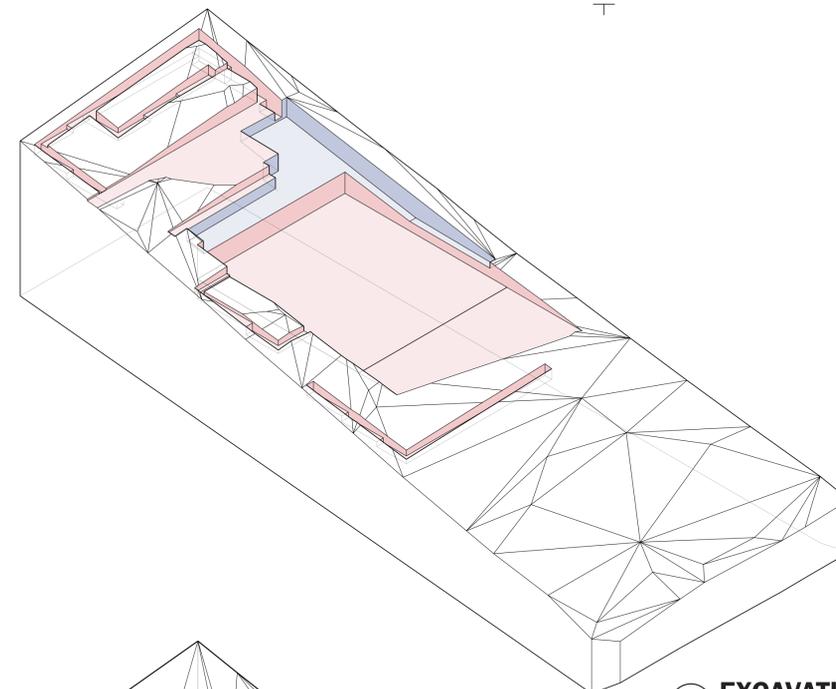
SOIL FILL (REPLACED WITH EXCAVATED SOIL)

CONCRETE SITE WALLS

VOLUME OF REPLACED DIRT/FILL: 130 CU.YD.

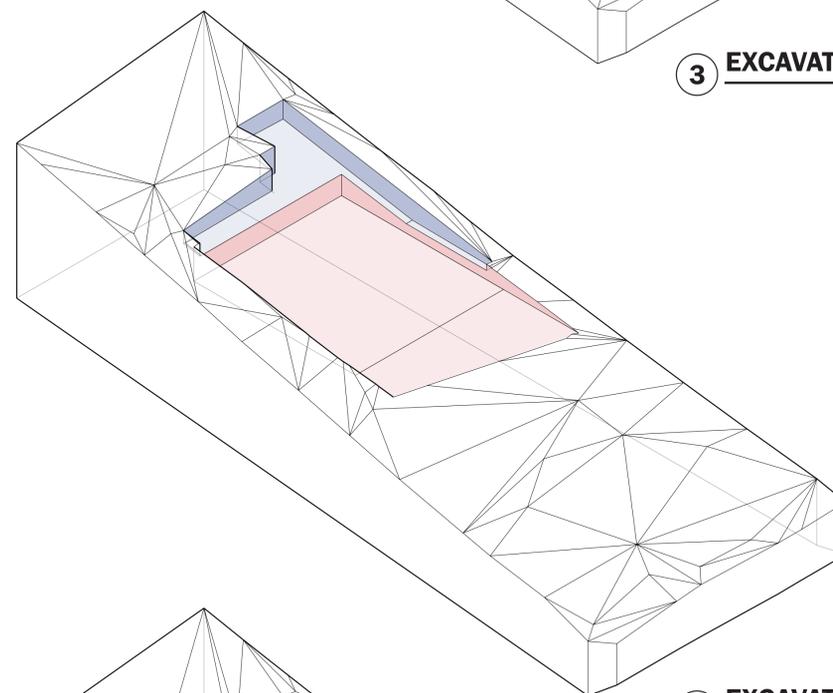
EFFECTIVE NET VOLUME OF EXCAVATION: 70 CU.YDS.

4 FINISHED SITE - REPLACED FILL



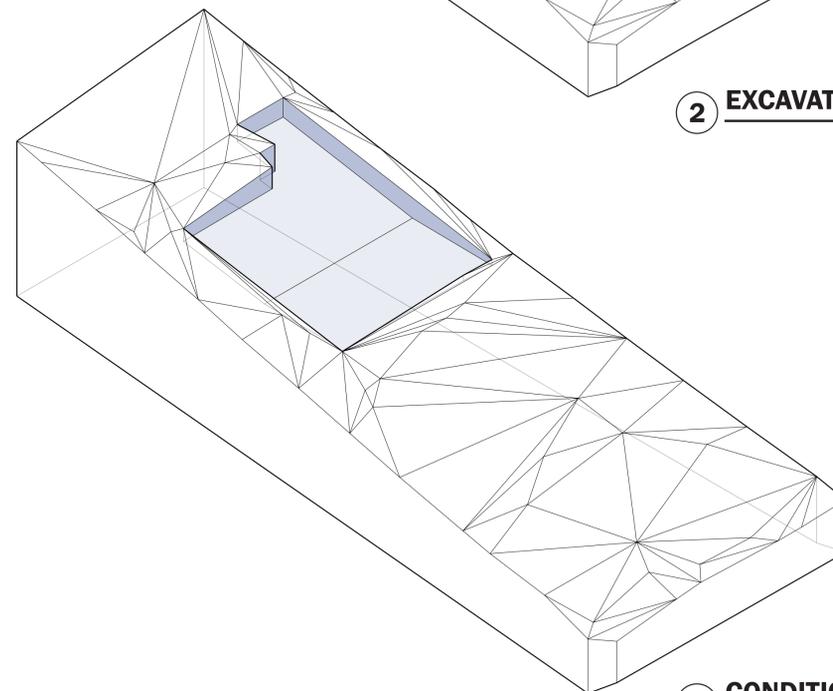
VOLUME OF EXCAVATED SOIL: 42 CU.YD.
CUMULATIVE VOLUME: 200 CU.YD.

3 EXCAVATION FOR SITE WALLS



VOLUME OF EXCAVATED SOIL: 158 CU.YD.

2 EXCAVATION FOR NEW FOUNDATION



VOLUME OF EXCAVATION: 0 CU.YDS.
(E) FOUNDATION REMOVED ONLY.

1 CONDITION @ FOUNDATION DEMOLITION